

THE MILLS

PROPOSED RESIDENTIAL FLAT BUILDING BUILDINGS 3 AND 4 1-11 NEIL STREET MERRYLANDS

DEVELOPMENT APPLICATION

28/03/2017

DRAWING SCHEDULE

NO.	REV.	TITLE	SCALE
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DA10.01	0	COVER SHEET	NTS
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DA11.02	A	AERIAL PHOTO	1:250@A1
DA11.03	A	SITE ANALYSIS	1:250@A1
DA11.04	A	SITE PLAN	1:250@A1
DA11.05	A	GFA CONTROL - CURRENT LEP	1:250@A1
DA11.06	A	GFA ANALYSIS	1:250@A1
DA11.07	A	GFA ANALYSIS - ADDITIONAL HEIGHT	1:250@A1
DA11.08	A	GFA - CURRENT SITE SUBDIVISION	1:250@A1
DA11.09	A	HEIGHT CONTROL - DRAFT LEP	1:250@A1
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DA12.05	A	BUILDING 3 LEVEL 1-8 FLOOR PLAN	1:125@A1
DA12.06	A	BUILDING 3 LEVEL 9-11 FLOOR PLAN	1:125@A1
DA12.09	A	BUILDING 3 ROOF PLAN	1:125@A1
DA12.14	B	BUILDING 4 GROUND FLOOR PLAN	1:125@A1
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DA12.16	A	BUILDING 4 LEVEL 9 FLOOR PLAN	1:125@A1
DA12.17	A	BUILDING 4 LEVEL 7 FLOOR PLAN	1:125@A1
DA12.18	A	BUILDING 4 LEVEL 8 FLOOR PLAN	1:125@A1
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DA12.20	A	BUILDING 4 ROOF PLAN	1:125@A1
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DA13.11	A	BUILDING 3 - NORTH ELEVATION	1:125@A1
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DA13.21	A	BUILDING 4 - NORTH ELEVATION	1:125@A1
DA13.22	A	BUILDING 4 - SOUTH ELEVATION	1:125@A1
DA13.23	A	BUILDING 4 - EAST ELEVATION	1:125@A1
DA13.24	A	BUILDING 4 - WEST ELEVATION	1:125@A1
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DA14.02	A	BUILDING 3 - SECTION BB	1:125@A1
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DA15.03	A	SOLAR ACCESS STUDY MID-WINTER	NTS
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DA15.34	A	BUILDING 4 - GFA GROUND FLOOR PLAN	1:125@A1
DA15.35	A	BUILDING 4 - GFA LEVEL 1-8 FLOOR PLAN	1:125@A1
DA15.36	A	BUILDING 4 - GFA LEVEL 9 FLOOR PLAN	1:125@A1
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DA16.00 ADAPTABLE UNITS			
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DA16.03	A	BUILDING 3 - ADAPTABLE UNIT PLAN 02	1:500@A1
DA16.04	A	BUILDING 3 - ADAPTABLE UNIT PLAN 04	1:500@A1
DA16.05	A	BUILDING 3 - ADAPTABLE UNIT PLAN 05	1:500@A1
DA16.11	A	BUILDING 4 - ADAPTABLE UNIT PLAN 01	1:500@A1
DA16.12	A	BUILDING 4 - ADAPTABLE UNIT PLAN 02	1:500@A1
DA16.13	A	BUILDING 4 - ADAPTABLE UNIT PLAN 03	1:500@A1
DA16.14	A	BUILDING 4 - ADAPTABLE UNIT PLAN 04	1:500@A1
DA16.15	A	BUILDING 4 - ADAPTABLE UNIT PLAN 05	1:500@A1
DA16.16	A	BUILDING 4 - ADAPTABLE UNIT PLAN 06	1:500@A1
DA16.17	A	BUILDING 4 - ADAPTABLE UNIT PLAN 07	1:500@A1
DA16.18	A	BUILDING 4 - ADAPTABLE UNIT PLAN 08	1:500@A1
DA17.00 VIEWS AND MATERIAL BOARD			
DA17.01	A	PERSPECTIVE VIEWS - 01	NTS
DA17.02	A	PERSPECTIVE VIEWS - 02	NTS
DA17.03	A	PERSPECTIVE VIEWS - 03	NTS
DA17.21	A	EXTERIOR FINISHES - SHEET 01	NTS

DEVELOPMENT DATA

BUILDING 3

LEVEL	UNIT MIX				SUB TOTAL
	ONE BED	TWO BED	THREE BED		
0	4	9	2		15
1	3	9	2		14
2	3	9	2		14
3	3	9	2		14
4	3	9	2		14
5	3	9	2		14
6	3	9	2		14
7	3	9	2		14
8	3	9	2		14
9	3	9	2		14
10	3	9	2		14
11	3	9	2		14
TOTAL	39	107	12		158
	25%	68%	7%		

AREA (m ²)		SEPP03		
GFA	CROSS VENT.	SOLAR ACCESS	ADAPT.	
1,089	9	3	3	
1,138	11	8	3	
1,138	11	10	3	
1,138	11	10	3	
1,138	11	11	3	
1,138	11	11	3	
1,138	11	12	3	
1,138	11	12	3	
1,137	11	12	3	
1,137	11	12	3	
1,137	11	13	3	
13,392	130	130	36	
	70.0%	70.0%	20.2%	

BUILDING 4

LEVEL	UNIT MIX				SUB TOTAL
	ONE BED	TWO BED	THREE BED		
0	10	4	0		14
1	7	7	2		16
2	7	7	2		16
3	7	7	2		16
4	7	7	2		16
5	7	7	2		16
6	5	5	0		10
7	5	5	0		10
8	1	3	2		6
9	1	3	2		6
10	1	3	2		6
11	1	3	2		6
TOTAL	59	62	13		134
	44%	46%	10%		

AREA (m ²)		SEPP03		
GFA	CROSS VENT.	SOLAR ACCESS	ADAPT.	
969	6	8	4	
1,072	9	9	3	
1,072	9	10	3	
1,072	9	10	3	
1,072	9	12	3	
1,072	9	13	3	
899	7	8	2	
706	7	8	2	
911	5	4	1	
907	5	4	1	
907	5	4	1	
907	5	6	1	
9,740	85	86	27	
	65.9%	72.2%	20.3%	

PARKING

PARKING TYPE	R.A.S. RATE	CAR PARKING		BICYCLE	
		REQUIRED SPACES	PROPOSED SPACES	REQUIRED SPACES	PROPOSED SPACES
1 BED	0.6	70.8	118		
2 BED	0.9	151.2	207		
3 BED	1.4	95.0	50		
RESIDENTIAL SUBTOTAL		257	375	0.5	155.5
RES VISITOR (INCLUDES 5 ON GROUND FLOOR)	0.2	62.2	87	0.1	31.1
TOTAL		319.2	462	0.6	205

TOTAL SITE AREA CALCULATIONS

TOTAL SITE AREA: 18,786m² TOTAL ALLOWABLE GFA: 45,177m²

FBN CONTROL:
LOT 1
5033m² x 3 = 15,099m²
LOT 11
10,687m² x 2.8 = 29,903m²

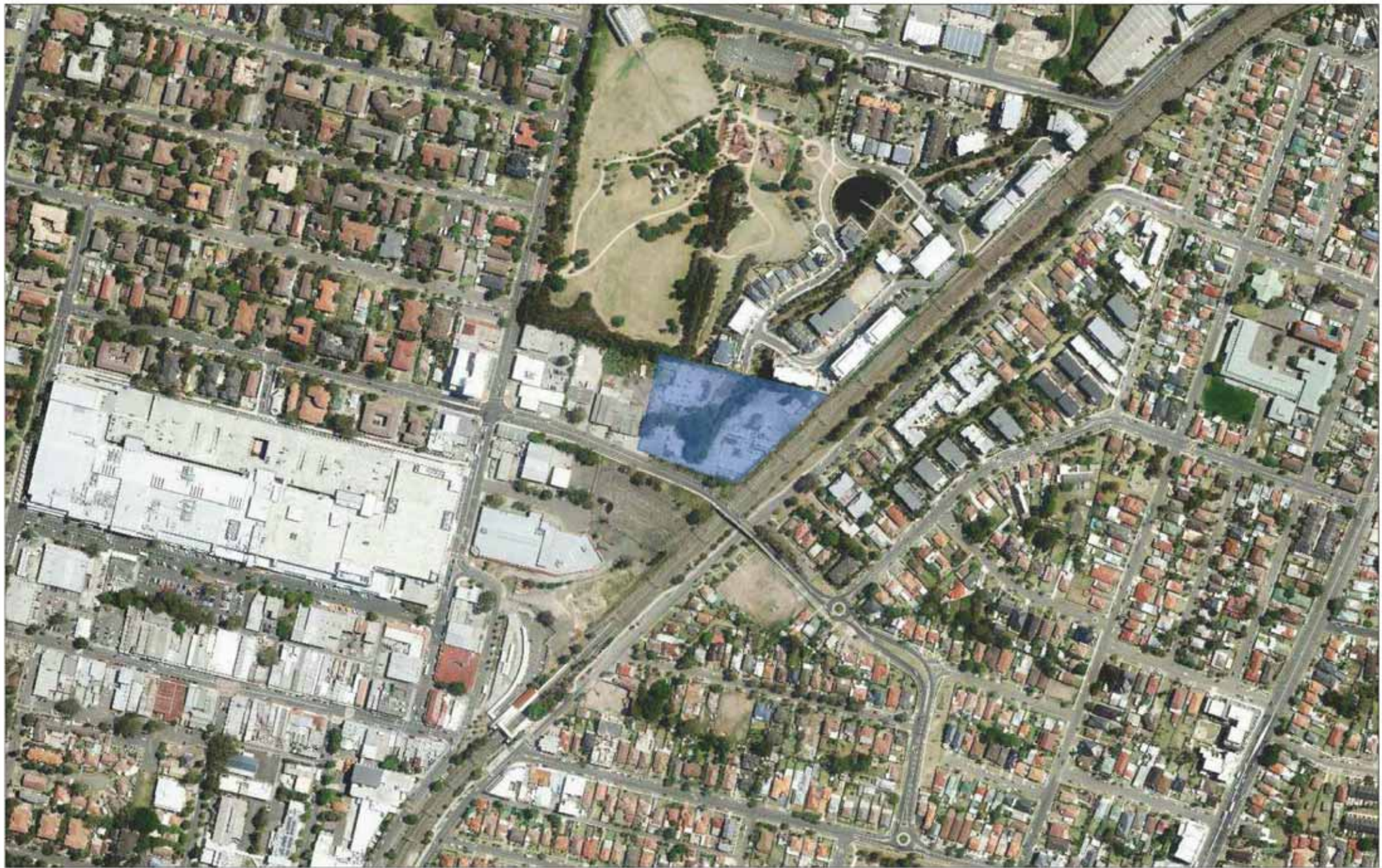
AREA (m²)				COMMON OPEN SPACE		DEEP SOIL		APTS	CROSS VENTILATION		SOLAR ACCESS	
BUILDINGS	SITE	GFA	(FGR 0.2)	ac²	%	ac²	%	BUILDINGS	ACHIEVED	%	ACHIEVED	%
1	5,618	9,417	2.87	1,270	13.8%	802	11.0%	120	80	79.2%	87	71.8%
2	5,102	1,214	2.13	993	19.0%	895	13.7%	95	105	80.2%	65	69.8%
3+4	8,403	21,833	2.71	3,040	15.0%	1,818	18.7%	211	113	65.1%	228	12.7%
TOTAL	19,163	40,463	2.34	5,306	28%	2,515	100%	324	306	68.6%	279	75.3%

SITE LOCATION NTS



3D MODEL VIEW NTS





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REVISION	DATE	DESCRIPTION	BY
01	2016.10.26	ISSUED FOR DEVELOPMENT APPLICATION - LP	

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CLIENT
**LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION**

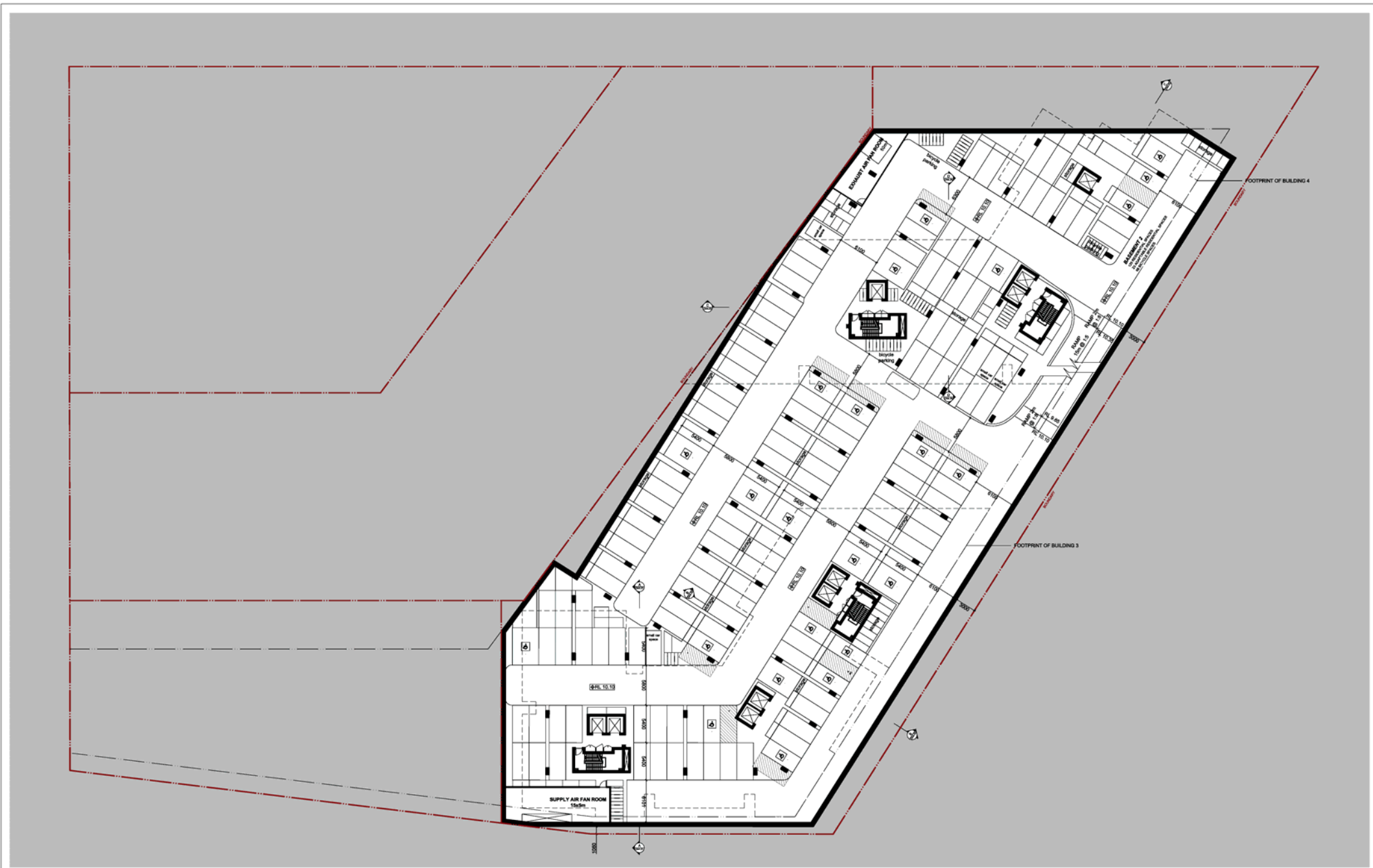
PROJECT
**THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS**

DRAWING TITLE
AERIAL PHOTO

SCALE	DATE	DRAWN	CHECKED
N18	03/08/2016	RR	MS
JOB	DRAWING	REVISION	
14001	DA11.02	A	



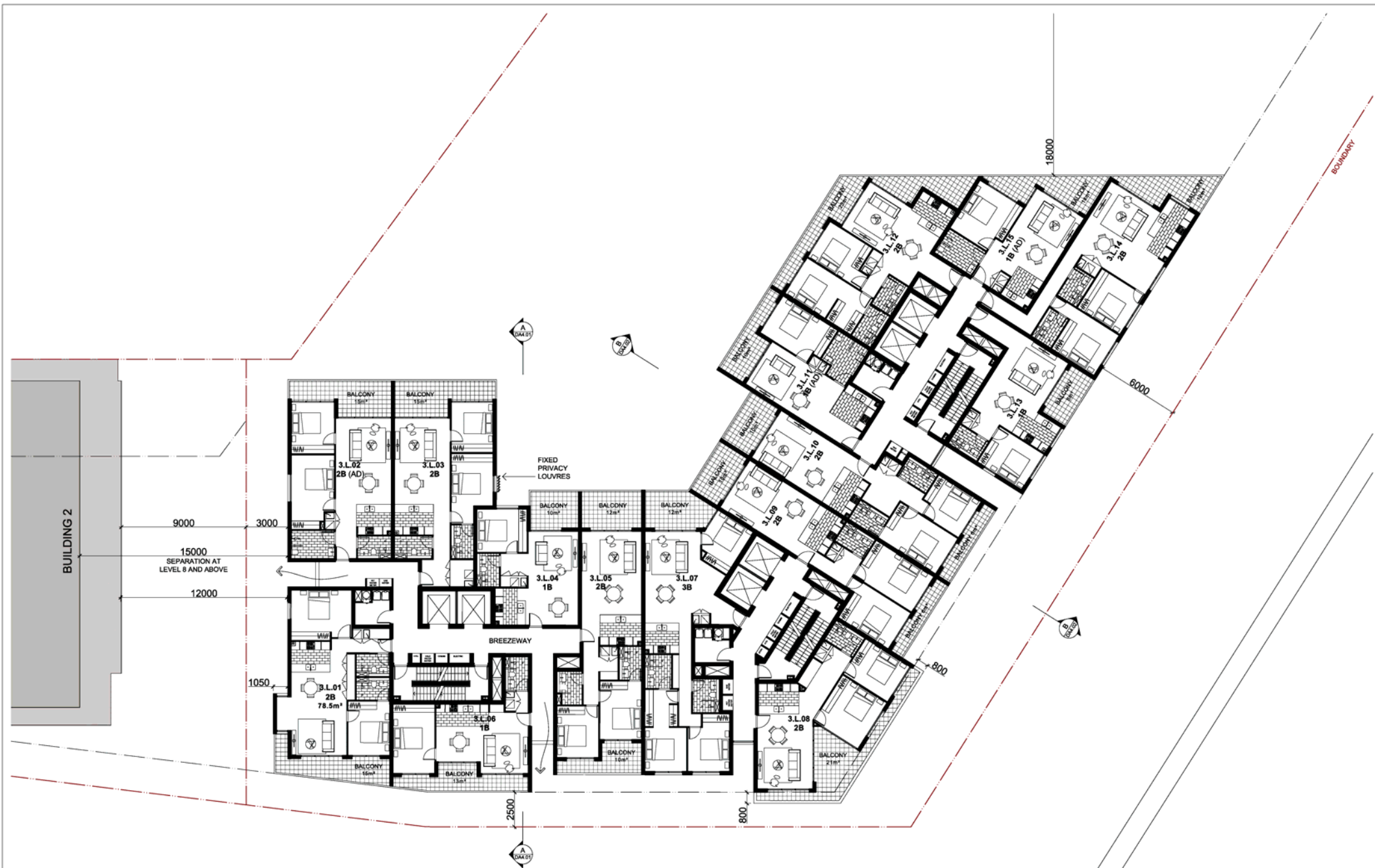
IMPORTANT NOTES: Do not scale from drawings. All dimensions shall be checked on site before commencement of work. All discrepancies shall be brought to the attention of the Architect. Larger scale drawings and written dimensions have precedence. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY. LTD.	REVISION DATE DESCRIPTION BY	marchesepartners Marchese Partners International Pty Ltd Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com www.marchesepartners.com Sydney · Brisbane · Canberra · Melbourne · Adelaide · Perth London · Kuala Lumpur · Auckland ABN 20 098 552 151	CLIENT LANDMARK GROUP SUITE 2201, LEVEL 22, TOWER TWO WESTFIELD, BONDI JUNCTION PROJECT THE MILLS BUILDINGS 3-4 1-11 NEIL STREET, MERRYLANDS	DRAWING TITLE BASEMENT 3 FLOOR PLAN			
	A 2016.10.26 ISSUED FOR DEVELOPMENT APPLICATION LP LP			SCALE 1:250@A1 1:500@A3	DATE 03/08/2016	DRAWN RR	CHECKED MS
	JOB 14001			DRAWING DA12.01	REVISION A		



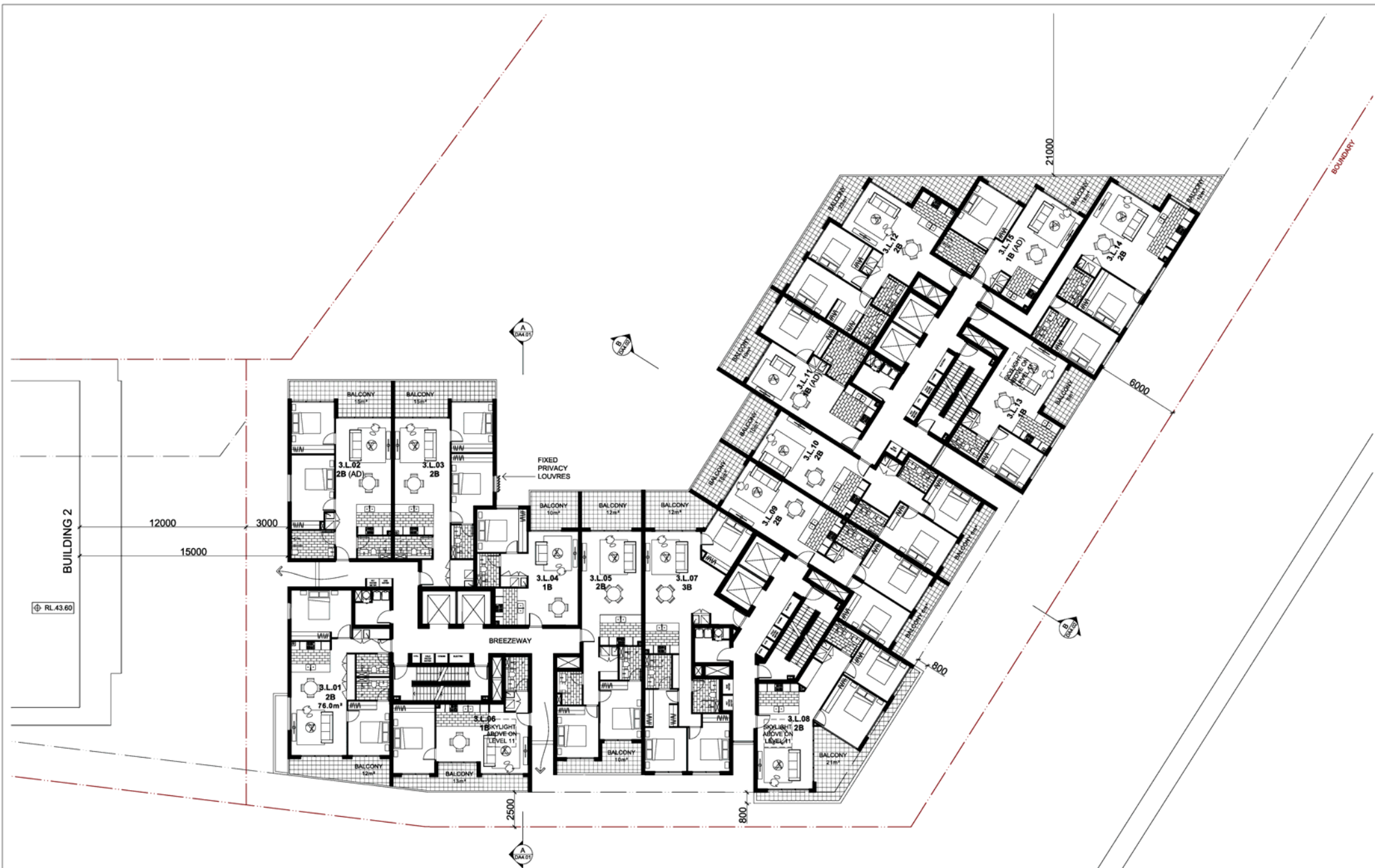
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	A 2016.10.26 ISSUED FOR DEVELOPMENT APPLICATION LP							
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					JOB 14001	DRAWING DA12.02	REVISION A	



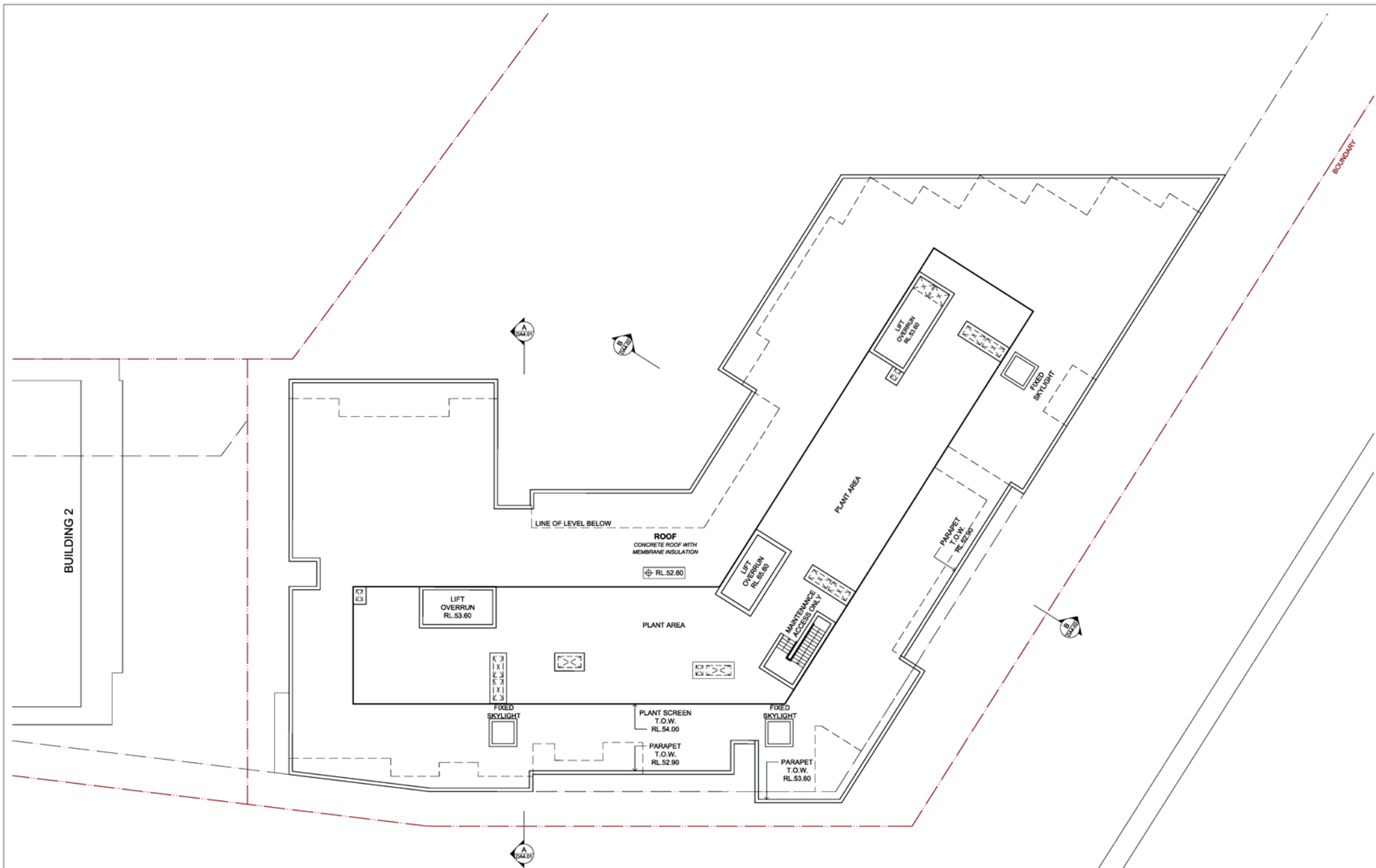
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	A	2016.10.26	SUBMITTED FOR DEVELOPMENT APPLICATION - LP	LP														
		2017.02.16	REQUEST FOR ADDITIONAL INFORMATION - LP	LP														
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SCALE 1:125 @A1 1:250 @A3	DATE 03/08/2016	DRAWN HS	CHECKED MS															
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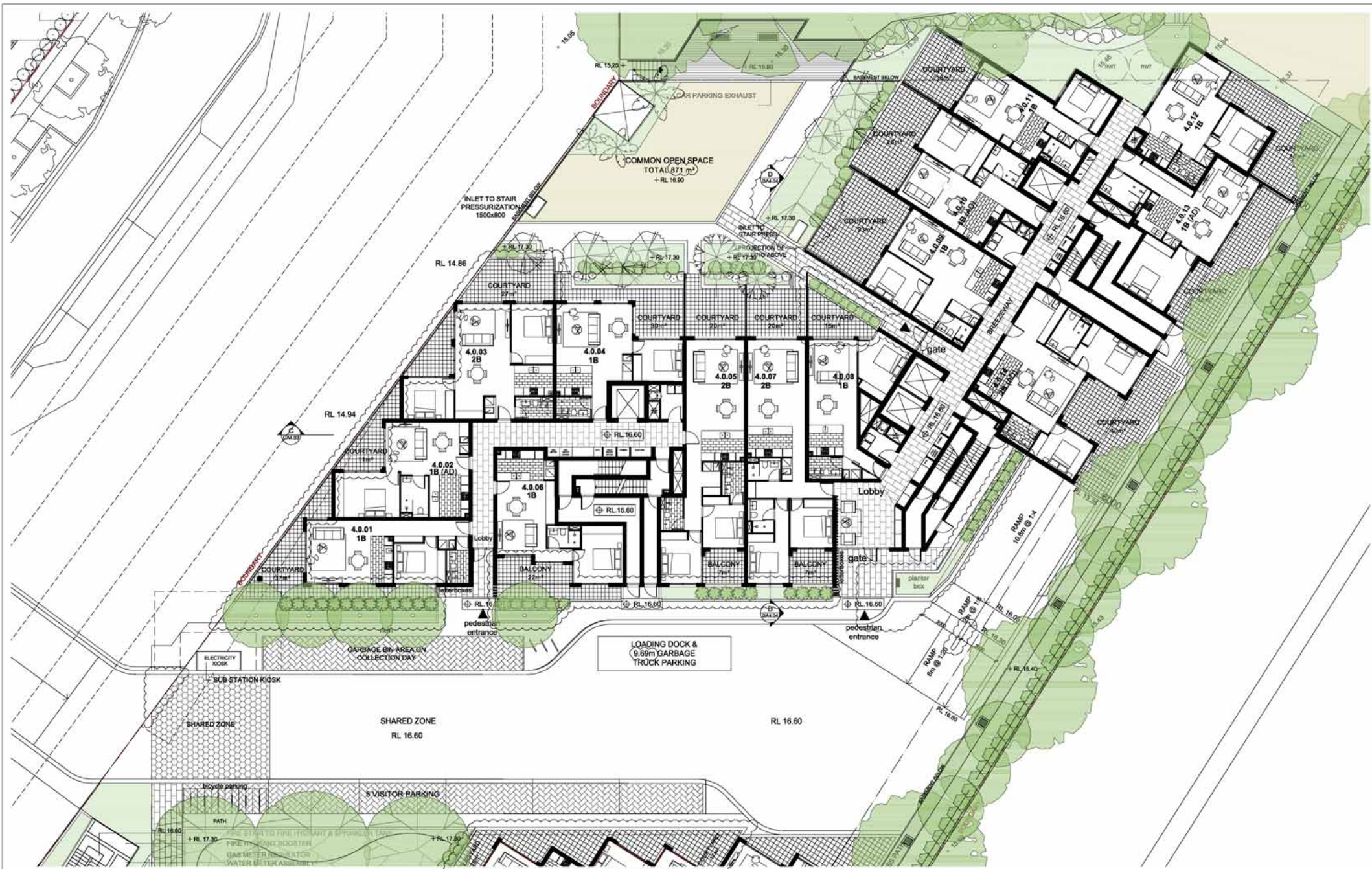
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	A	2018.10.26	ISSUED FOR DEVELOPMENT APPLICATION	UP				SCALE 1:125@A1 1:250@A3 JOB 14001	DATE 03/08/2016 DRAWING DA12.05	DRAWN HS	CHECKED MS REVISION A



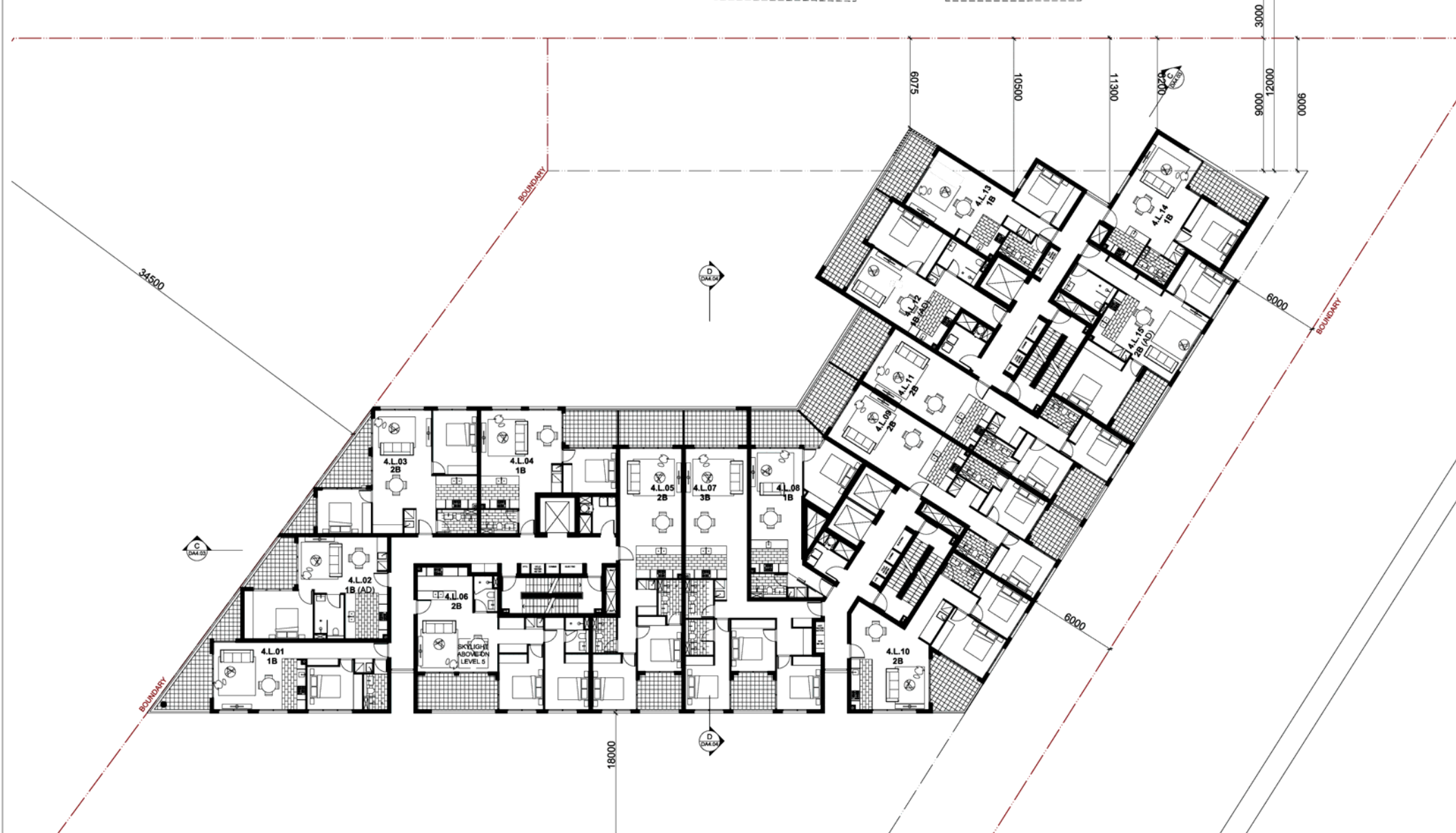
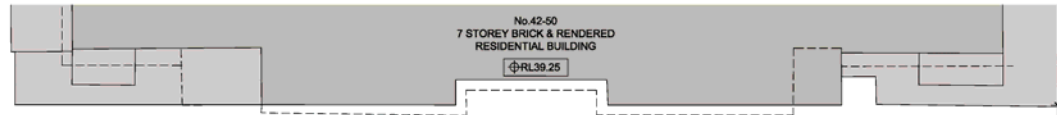
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						PROJECT THE MILLS BUILDINGS 3-4 1-11 NEIL STREET, MERRYLANDS	SCALE 1:125@A1 1:250@A3	DATE 03/08/2016	DRAWN HS	CHECKED MS
							JOB 14001	DRAWING DA12.06	REVISION A	



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PROJECT THE MILLS BUILDINGS 3-4 1-11 NEIL STREET, MERRYLANDS		SCALE 1:125 @ A1 1:250 @ A3	DATE 03/08/2016	DRAWN HS	CHECKED MS				
		JOB 14001	DRAWING DA12.09	REVISION A					



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	1 2018.03.28 SUBMITTED FOR DEVELOPMENT APPLICATION - LP LP					PROJECT THE MILLS BUILDINGS 3-4 1-11 NEIL STREET, MERRYLANDS	SCALE 1:125 @ A1 1:250 @ A3	DATE 03/08/2016	DRAWN BO
	2 2017.02.18 REQUEST FOR ADDITIONAL INFORMATION - LP LP					JOB 14001	DRAWING DA12.14	REVISION B	



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	REVISION	DATE	DESCRIPTION	BY														
A	2016.10.26	ISSUED FOR DEVELOPMENT APPLICATION	LP															
<table><tr><td>SCALE 1:125@A1 1:250@A3</td><td>DATE 03/08/2016</td><td>DRAWN BO</td><td>CHECKED MS</td></tr><tr><td>JOB 14001</td><td>DRAWING DA12.15</td><td colspan="2">REVISION A</td></tr></table>					SCALE 1:125@A1 1:250@A3	DATE 03/08/2016	DRAWN BO	CHECKED MS	JOB 14001	DRAWING DA12.15	REVISION A							
SCALE 1:125@A1 1:250@A3	DATE 03/08/2016	DRAWN BO	CHECKED MS															
JOB 14001	DRAWING DA12.15	REVISION A																



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REVISION	DATE	DESCRIPTION	BY
A	2016.10.26	ISSUED FOR DEVELOPMENT APPLICATION	LP

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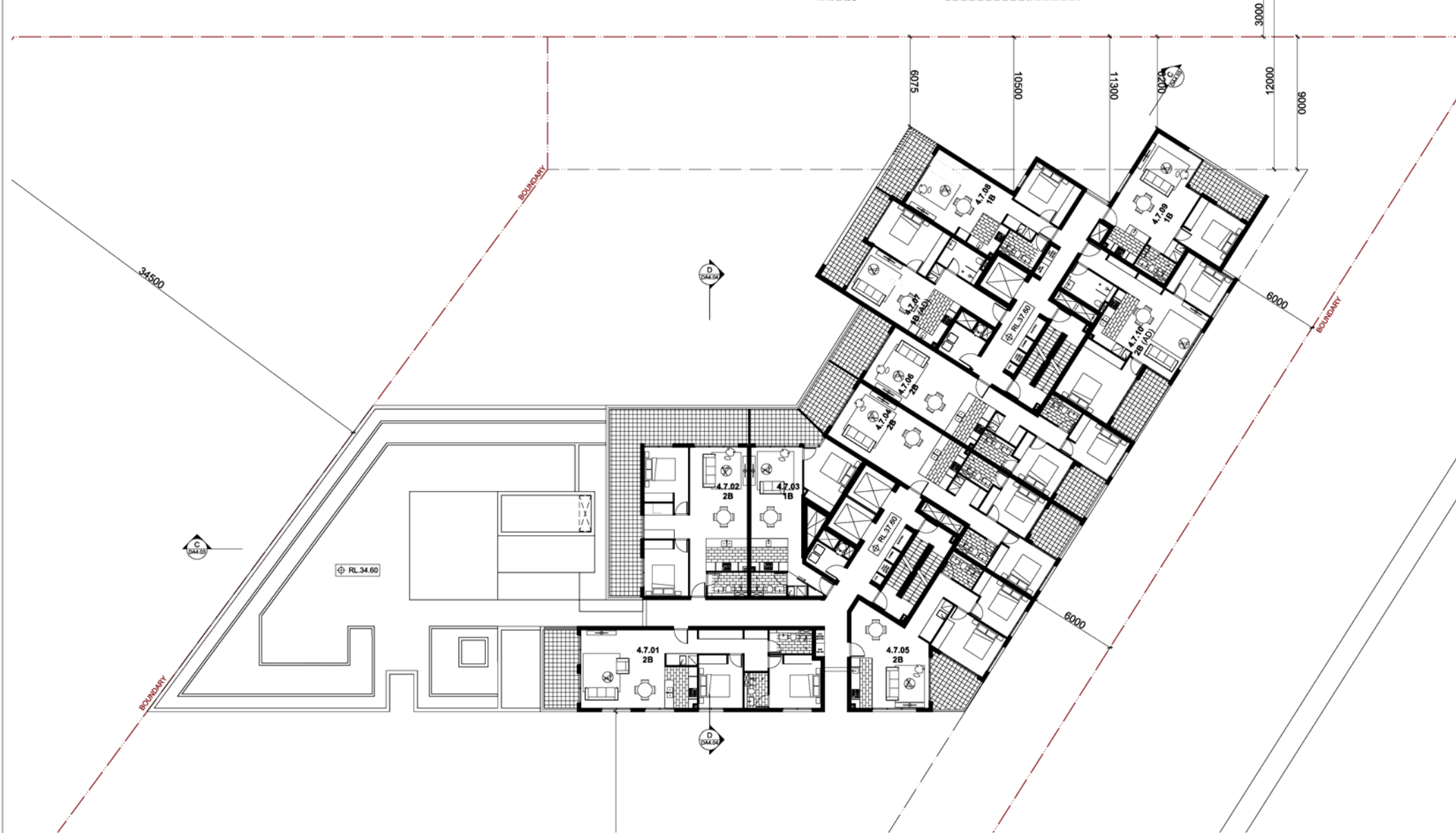
CLIENT
**LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION**

PROJECT
**THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS**

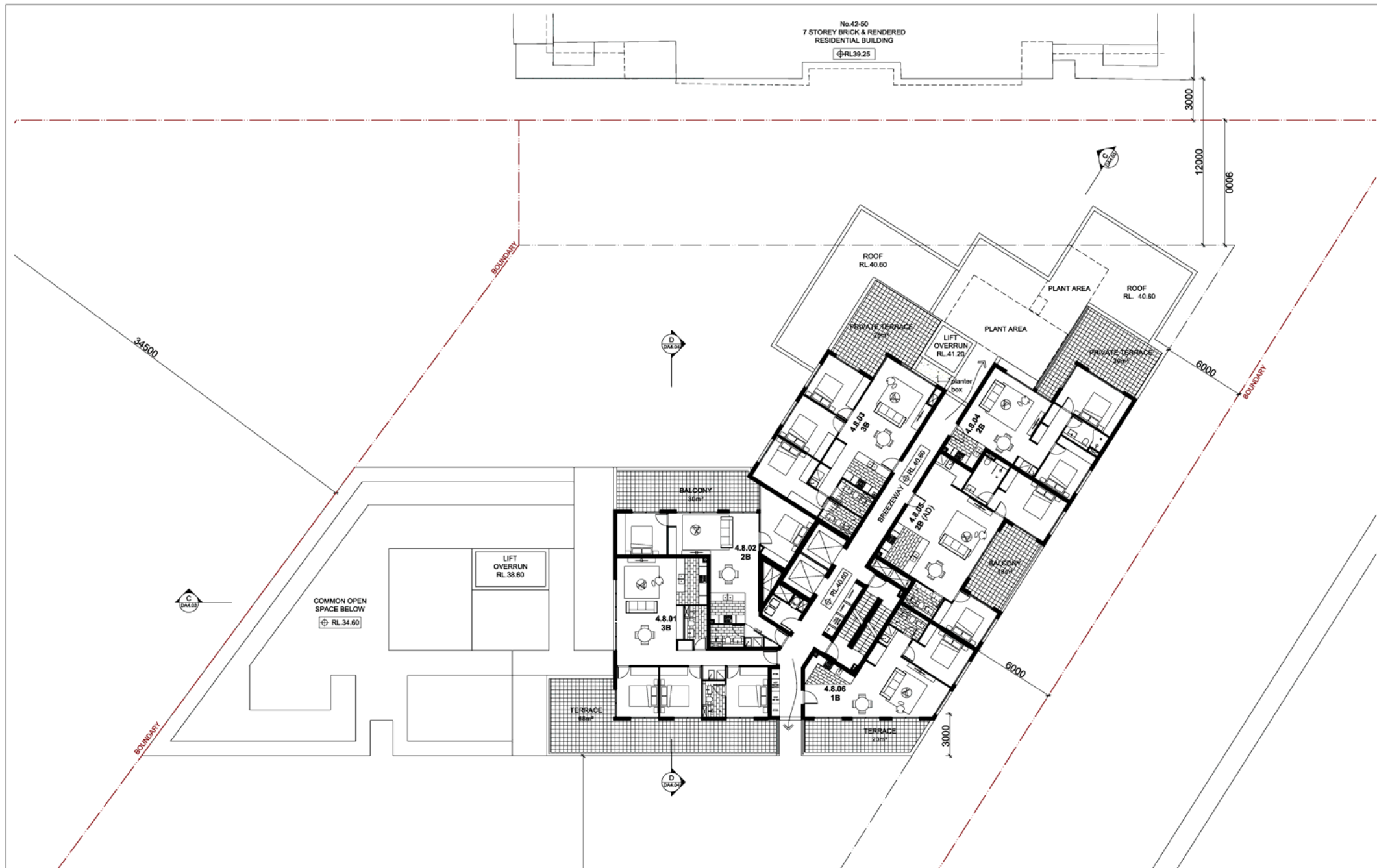
DRAWING TITLE
BUILDING 4 LEVEL 6 FLOOR PLAN

SCALE	DATE	DRAWN	CHECKED
1:1250(A1) 1:250(A3)	03/08/2016	BO	MS
JOB	DRAWING	REVISION	
14001	DA12.16	A	

No.42-50
7 STOREY BRICK & RENDERED
RESIDENTIAL BUILDING
RL39.25



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	A 2016.10.26 ISSUED FOR DEVELOPMENT APPLICATION LP			PROJECT THE MILLS BUILDINGS 3-4 1-11 NEIL STREET, MERRYLANDS	SCALE 1:125@A1 1:250@A3	DATE 03/08/2016	DRAWN BO	CHECKED MS
				JOB 14001	DRAWING DA12.17	REVISION A		



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A	2018.10.26	ISSUED FOR DEVELOPMENT APPLICATION	LP

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CLIENT

LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION

PROJECT

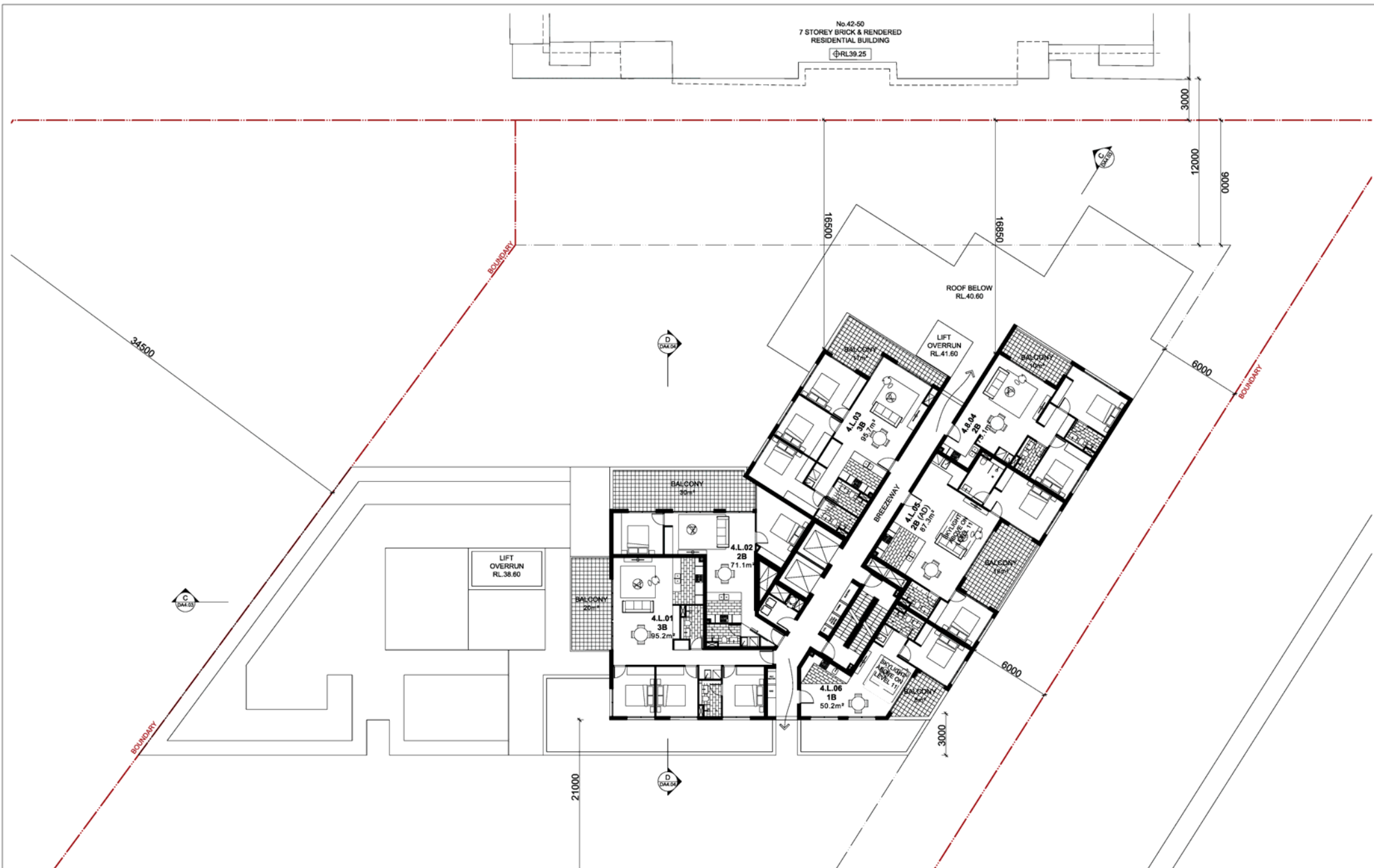
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE

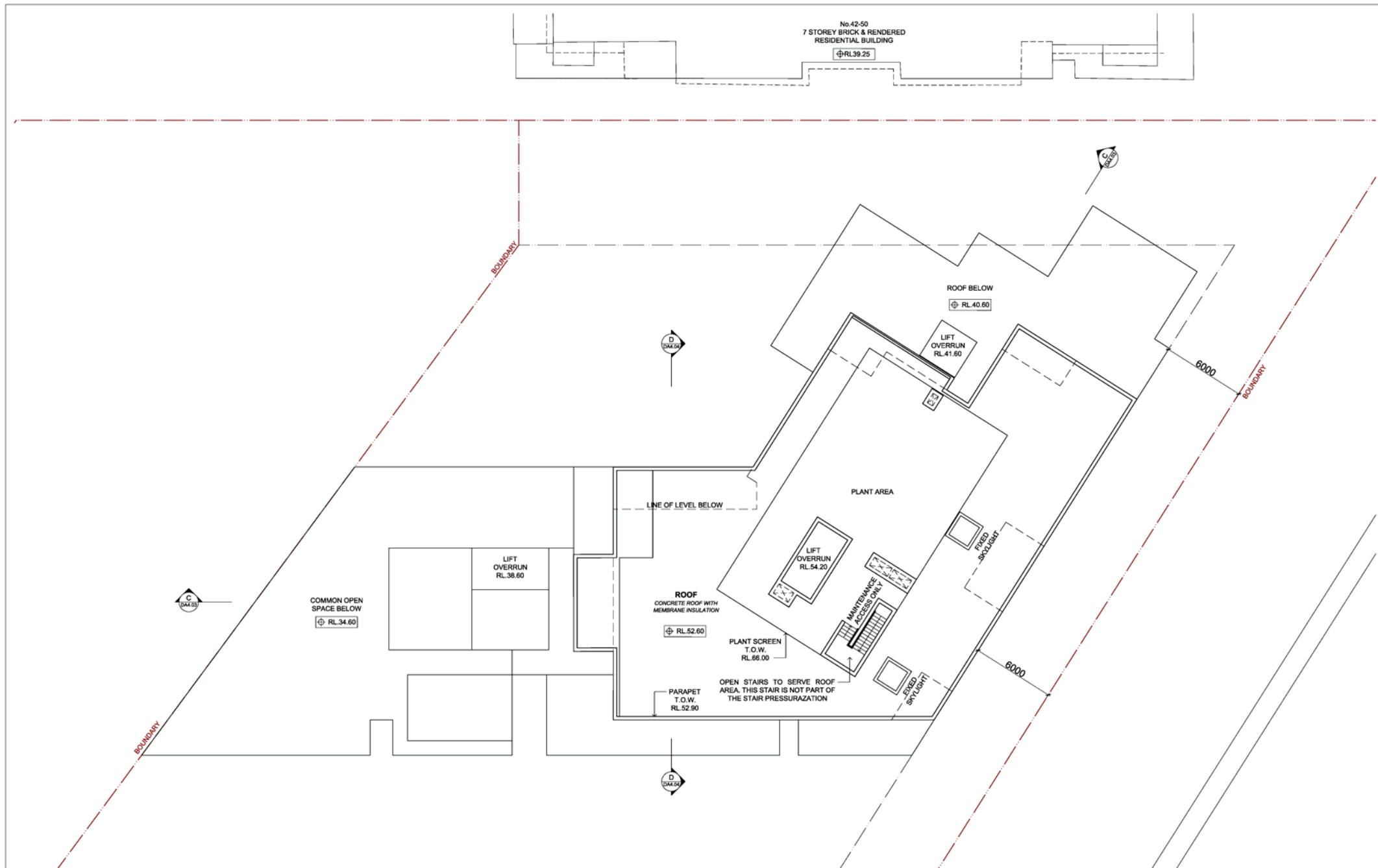
BUILDING 4 LEVEL 8 FLOOR PLAN

SCALE	DATE	DRAWN	CHECKED
1:125 @ A1 1:250 @ A3	03/08/2016	BO	MS

JOB	DRAWING	REVISION
14001	DA12.18	A



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	A2018.10.26ISSUED FOR DEVELOPMENT APPLICATIONLP				



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	A 2018.10.26 ISSUED FOR DEVELOPMENT APPLICATION LP					SCALE 1:125@A1 1:250@A3	DATE 03/08/2016	DRAWN BO	CHECKED MS

BOUNDARY

BOUNDARY

- LEGEND**
1. DULUX PAINT COLOUR - VIVID WHITE
 2. DULUX PAINT COLOUR - TIMELESS GREY
 3. DULUX PAINT COLOUR - ART FOR MOON
 4. BRICK - PGM APOLLO
 5. POWDER COATED ALUMINIUM FRAMED SLIDING WINDOWS & DOORS DULUX COLOUR - SILVER PEARL
 6. DULUX PAINT COLOUR - DEEP BAMBOO
 7. POWDER COATED ALUMINIUM LOUVERS DULUX COLOUR - SILVER PEARL
 8. CLEAR GLASS PANEL



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REVISION	DATE	DESCRIPTION	BY
1	2016.05.05	ISSUED FOR DEVELOPMENT APPLICATION - LP	MS
2	2017.05.05	ISSUED TO BUILDING PERMITS - MS	MS

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CLIENT
LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION

PROJECT
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE
BUILDING 3 - NORTH ELEVATION

SCALE	DATE	DRAWN	CHECKED
1:1250A1 1:2500A3	03/08/2016	HS	MS
JOB	DRAWING	REVISION	
14001	DA13.11	B	



LEGEND

1. DULUX PAINT COLOUR - IVORY WHITE
2. DULUX PAINT COLOUR - TIMELESS GREY
3. DULUX PAINT COLOUR - MILTON MOON
4. BRICK - FISH APOLLO
5. POWDER COATED ALUMINIUM FRAMED SLIDING WINDOWS & DOORS
DULUX COLOUR - SILVER PEARL
6. DULUX PAINT COLOUR - DEEP BAMBOO
7. POWDER COATED ALUMINIUM LOUVERS
DULUX COLOUR - SILVER PEARL
8. CLEAR GLASS PANEL

BUILDING 3



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REVISION	DATE	DESCRIPTION	BY
1	2016.05.05	REVISED FOR DEVELOPMENT APPLICATION - 2P	...
2	2017.05.05	UPDATES TO ARCHITECTURE REMOVED	...

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CLIENT

LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION

PROJECT

THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE

BUILDING 3 - EAST ELEVATION

SCALE

1:125 (A1)
1:200 (A3)

DATE

03/08/2016

DRAWN

HS

CHECKED

MS

JOB

14001

REVISION

DA13.13

REVISION

B



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	1	2016-08-01	ISSUED FOR DEVELOPMENT APPLICATION LP	LP
	2	2017-04-01	ISSUED FOR DEVELOPMENT APPLICATION MS	MS

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CLIENT	LANDMARK GROUP SUITE 2201, LEVEL 22, TOWER TWO WESTFIELD, BONDI JUNCTION		
PROJECT	THE MILLS BUILDINGS 3-4 1-11 NEIL STREET, MERRYLANDS		

DRAWING TITLE BUILDING 3 - WEST ELEVATION			
SCALE 1:125 (A1) 1:250 (A3)	DATE 03/08/2016	DRAWN HS	CHECKED MS
JOB 14001	DRAWING DA13.14	REVISION B	

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- LEGEND**
1. DULUX PAINT COLOUR - IVORY WHITE
 2. DULUX PAINT COLOUR - TIMELESS GREY
 3. DULUX PAINT COLOUR - MELTON WOOD
 4. BRICK - FISH APOLLO
 5. POWDER COATED ALUMINIUM FINISHED SLIDING WINDOWS & DOORS DULUX COLOUR - SILVER PEARL
 6. DULUX PAINT COLOUR - DEEP BAMBOO
 7. POWDER COATED ALUMINIUM LOUVERS DULUX COLOUR - SILVER PEARL
 8. CLEAR GLASS PANEL

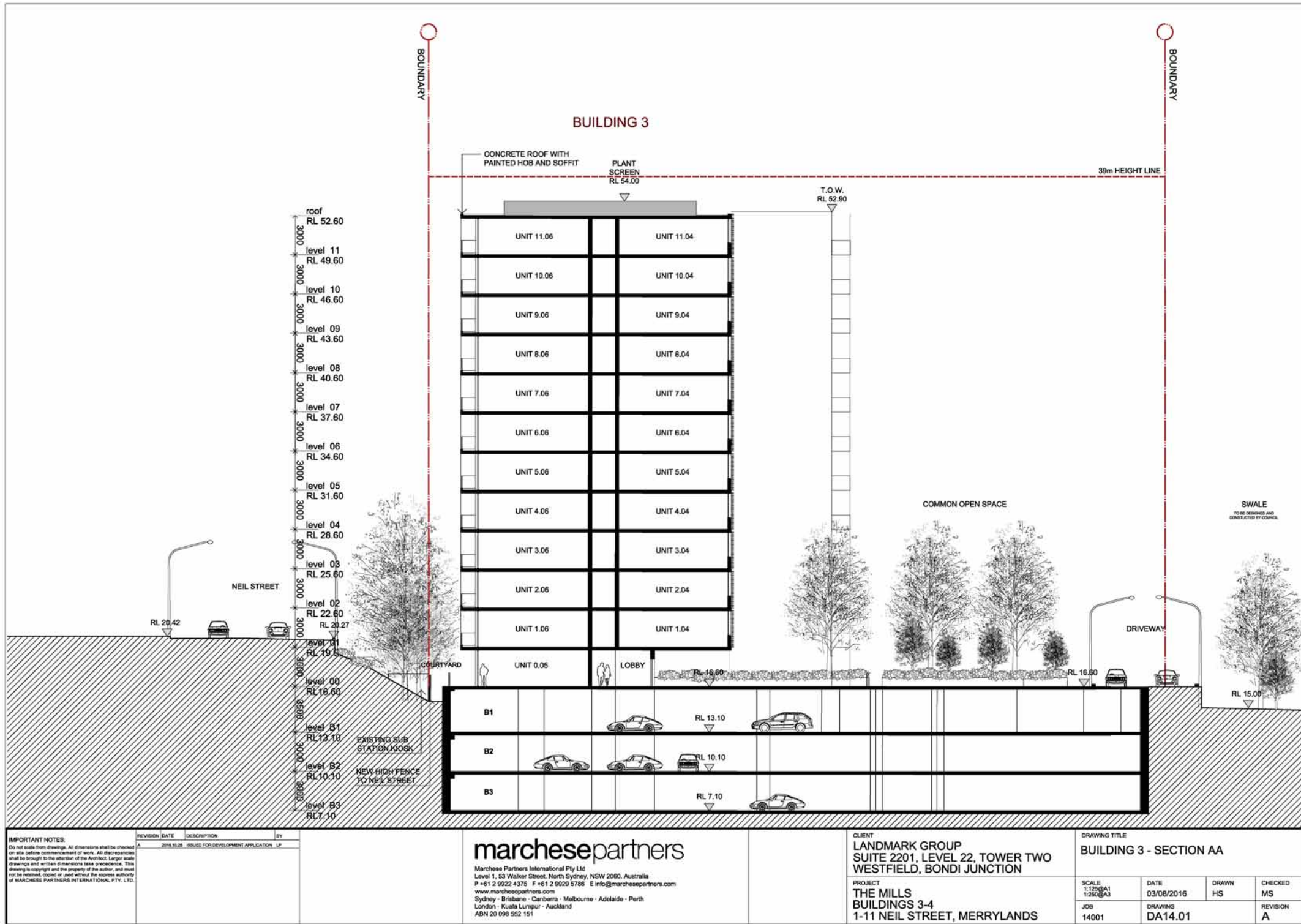


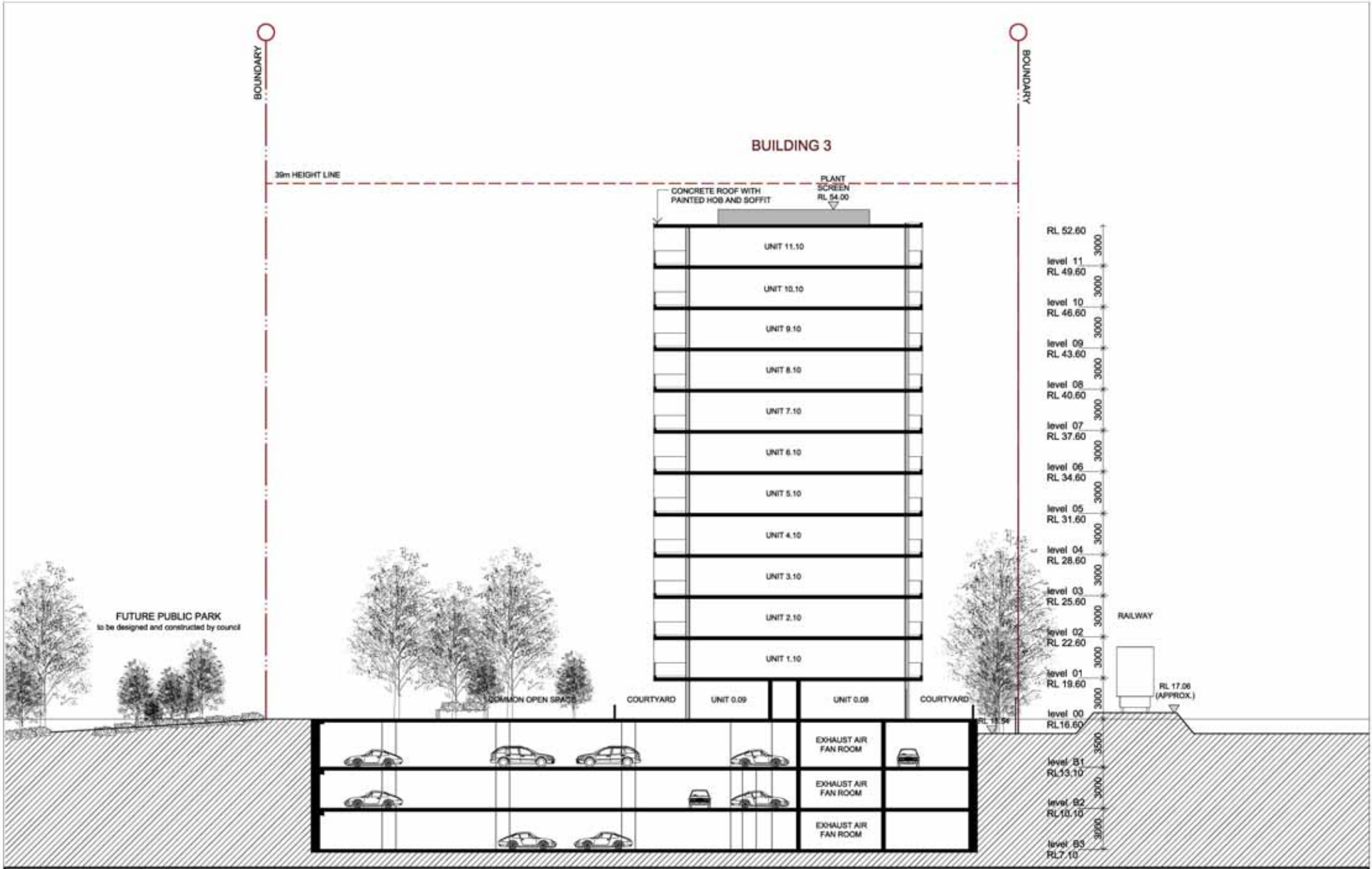
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	PROJECT THE MILLS BUILDINGS 3-4 1-11 NEIL STREET, MERRYLANDS			SCALE 1:1250 (A1) 1:250 (A3)	DATE 03/08/2016	DRAWN HS	CHECKED MS	
	JOB 14001			DRAWING DA13.22	REVISION B			



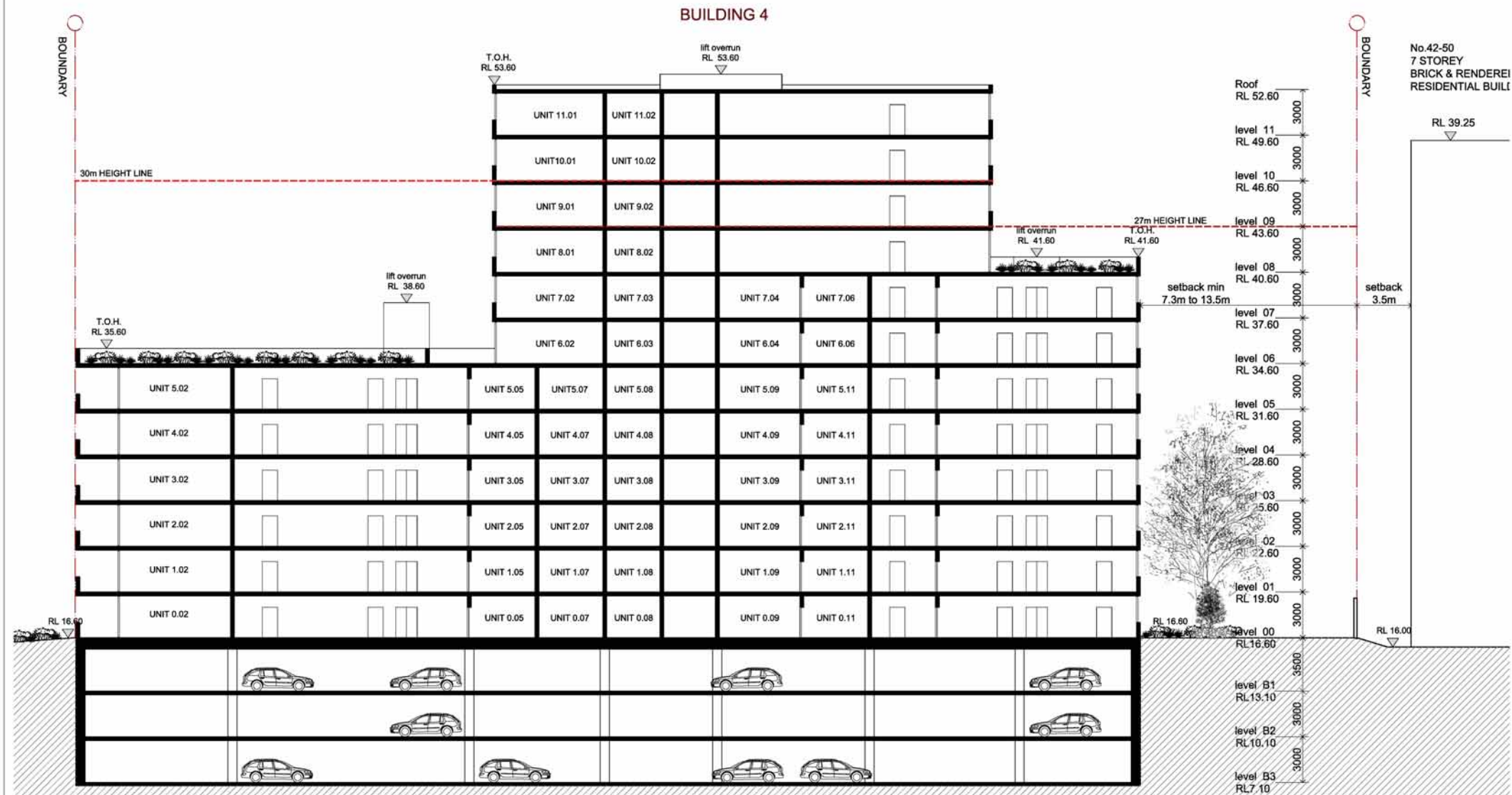
LEGEND	
1.	DULUX PAINT COLOUR - VIVID WHITE
2.	DULUX PAINT COLOUR - TIMELESS GREY
3.	DULUX PAINT COLOUR - MELTON WOOD
4.	BRICK - FISHPOLOD
5.	POWDER COATED ALUMINIUM FINISHED SLIDING WINDOWS & DOORS DULUX COLOUR - SILVER PEARL
6.	DULUX PAINT COLOUR - DEEP BAMBOO
7.	POWDER COATED ALUMINIUM L Louvers DULUX COLOUR - SILVER PEARL
8.	CLEAR GLASS PANEL

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	1. 2016.04.20 REVISED FOR DEVELOPMENT APPLICATION JP			SCALE 1:1250 (A1) 1:250 (A3)	DATE 03/08/2016	DRAWN HS	CHECKED MS
	2. 2017.04.10 LIAISON TO DEVELOPMENT NUMBERING MS			JOB 14001	DRAWING DA13.23	REVISION B	

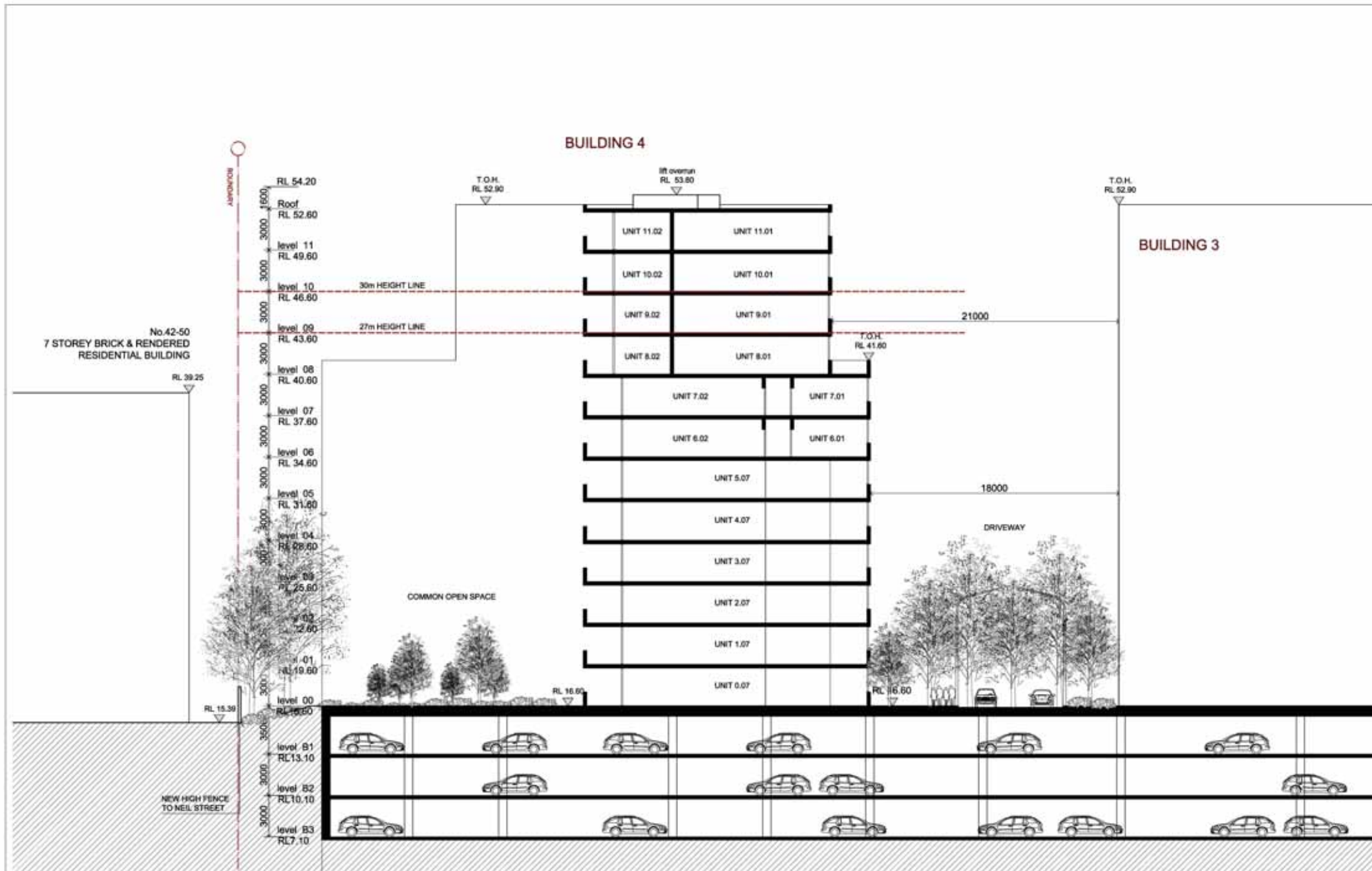




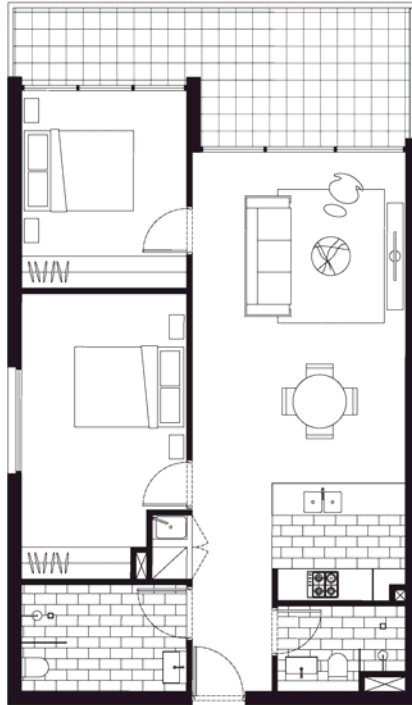
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	1	2016.12.08	ISSUED FOR DEVELOPMENT APPLICATION	LP							
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PROJECT THE MILLS BUILDINGS 3-4 1-11 NEIL STREET, MERRYLANDS					SCALE 1:1250 A1 1:2500 A3	DATE 03/08/2016	DRAWN HS	CHECKED MS			
					JOB 14001	DRAWING DA14.02	REVISION A				



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	1 2018.10.26 ISSUED FOR DEVELOPMENT APPLICATION - LP LP			SCALE 1:1250A1 1:2500A3	DATE 03/08/2016	DRAWN BO	CHECKED MS
	JOB 14001	DRAWING DA14.03		REVISION A			



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	SCALE 1:1250(A) 1:250(B) JOB 14001			DATE 03/08/2016 DRAWING DA14.04	DRAWN BO	CHECKED MS REVISION A	



2B 75m²
PRE-ADAPTATION LAYOUT



2B 75m²
POST ADAPTATION LAYOUT

TOTAL OF 12 UNITS:
3.0.02, 3.1.02, 3.2.02, 3.3.02, 3.4.02, 3.5.02, 3.6.02, 3.7.02, 3.8.02, 3.9.02, 3.10.02, 3.11.02

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CLIENT

LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION

DRAWING TITLE

BUILDING 3 - ADAPTABLE UNIT PLAN 01

PROJECT

THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

SCALE	DATE	DRAWN	CHECKED
1:50@A1 1:100@A3	03/08/2016	HS	MS
JOB	DRAWING	REVISION	
14001	DA16.01	A	



2B 80m²
PRE-ADAPTATION LAYOUT

TOTAL OF 1 UNIT:
3.0.09



2B 80m²
POST ADAPTATION LAYOUT

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REVISION	DATE	DESCRIPTION	BY
A	2016/10/25	ISSUED FOR DEVELOPMENT APPLICATION LP	LP

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LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION

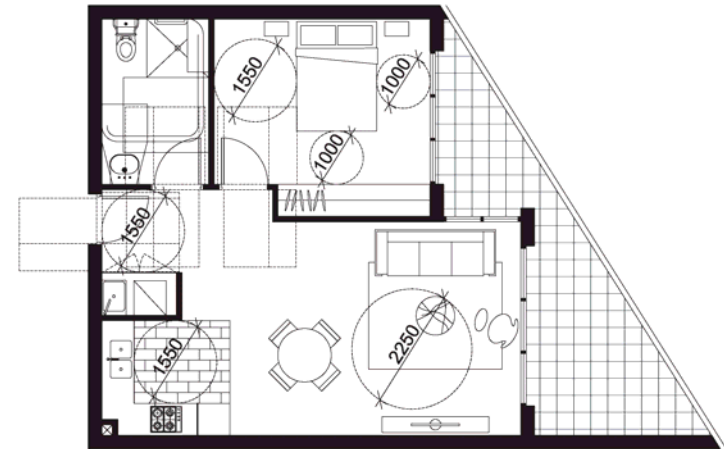
PROJECT
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE
BUILDING 3 - ADAPTABLE UNIT PLAN 03

SCALE 1:50@A1 1:100@A3	DATE 03/08/2016	DRAWN HS	CHECKED MS
JOB 14001	DRAWING DA16.03	REVISION A	



1B 54m²
PRE-ADAPTATION LAYOUT



1B 54m²
POST ADAPTATION LAYOUT

TOTAL OF 12 UNITS:
3.0.13, 3.1.15, 3.2.15, 3.3.15, 3.4.15, 3.5.15, 3.6.15, 3.7.15, 3.8.15, 3.9.15, 3.10.15, 3.11.15

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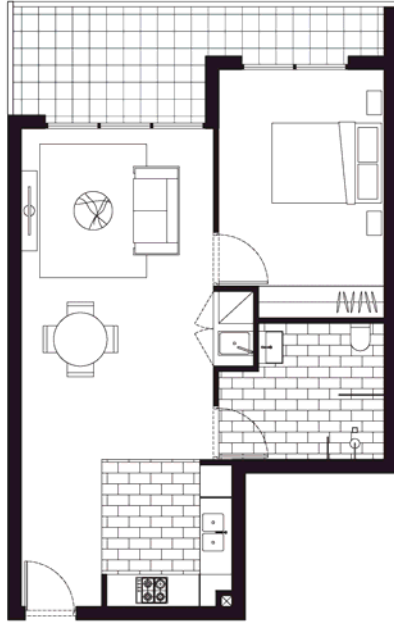
REVISION	DATE	DESCRIPTION	BY
A	2018.10.26	ISSUED FOR DEVELOPMENT APPLICATION -LP	

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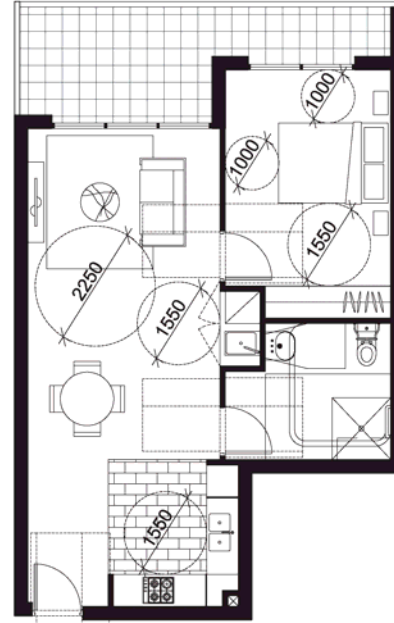
CLIENT
LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION

PROJECT
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE			
BUILDING 3 - ADAPTABLE UNIT PLAN 04			
SCALE 1:50@A1 1:100@A3	DATE 03/08/2016	DRAWN HS	CHECKED MS
JOB 14001	DRAWING DA16.04	REVISION A	



1B 56m²
PRE-ADAPTATION LAYOUT



1B 56m²
POST ADAPTATION LAYOUT

TOTAL OF 11 UNITS:
3.1.11, 3.2.11, 3.3.11, 3.4.11, 3.5.11, 3.6.11, 3.7.11, 3.8.11, 3.9.11, 3.10.11, 3.11.11

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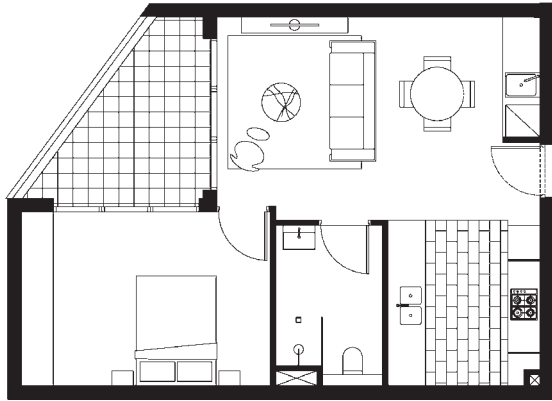
REVISION	DATE	DESCRIPTION	BY
A	2018.10.26	ISSUED FOR DEVELOPMENT APPLICATION -LP	

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LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION

PROJECT
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE			
BUILDING 3 - ADAPTABLE UNIT PLAN 05			
SCALE 1:50@A1 1:100@A3	DATE 03/08/2016	DRAWN HS	CHECKED MS
JOB 14001	DRAWING DA16.05	REVISION A	



1B 53m²
PRE-ADAPTATION LAYOUT



1B 53m²
POST ADAPTATION LAYOUT

TOTAL OF 6 UNIT:
4.0.02, 4.1.02, 4.2.02, 4.3.02, 4.4.02, 4.5.02

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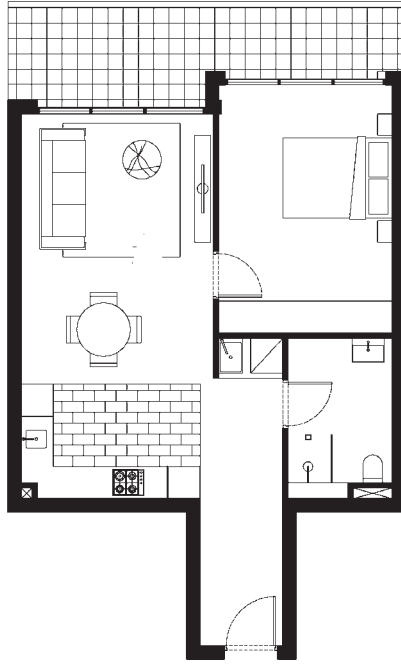
REVISION	DATE	DESCRIPTION	BY
A	2016/10/25	ISSUED FOR DEVELOPMENT APPLICATION LP	LP

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CLIENT
LANDMARK GROUP
SUITE 2201, LEVEL 22, TOWER TWO
WESTFIELD, BONDI JUNCTION

PROJECT
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE			
BUILDING 4 - ADAPTABLE UNIT PLAN 01			
SCALE 1:50@A1 1:100@A3	DATE 03/08/2016	DRAWN BO	CHECKED MS
JOB 14001	DRAWING DA16.11	REVISION A	



1B 59m²
PRE-ADAPTATION LAYOUT



1B 59m²
POST ADAPTATION LAYOUT

TOTAL OF 8 UNIT:
4.0.10, 4.1.12, 4.2.12, 4.3.12, 4.4.12, 4.5.12, 4.6.12, 4.7.12

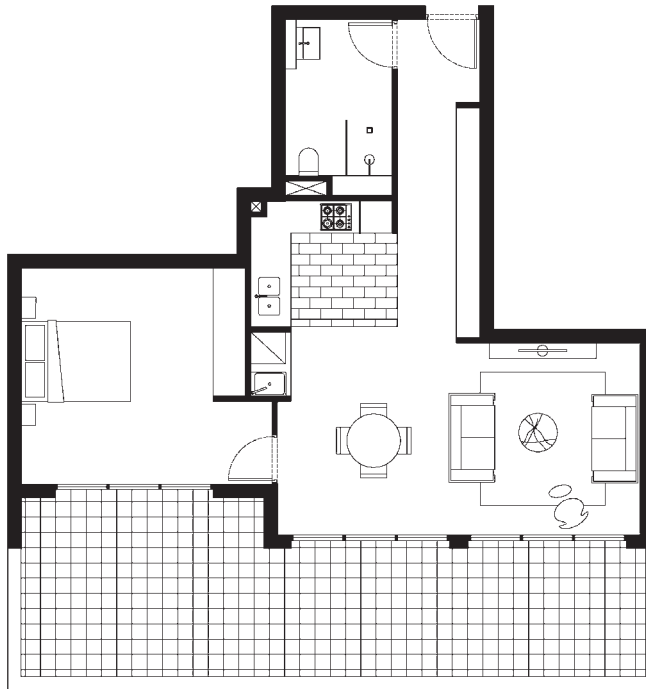
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CLIENT	LANDMARK GROUP SUITE 2201, LEVEL 22, TOWER TWO WESTFIELD, BONDI JUNCTION
PROJECT	THE MILLS BUILDINGS 3-4 1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE	BUILDING 4 - ADAPTABLE UNIT PLAN 02
SCALE	1:50@A1 1:100@A3
DATE	03/08/2016
DRAWN	BO
CHECKED	MS
JOB	14001
DRAWING	DA16.12
REVISION	A



1B 66m²
PRE-ADAPTATION LAYOUT



1B 66m²
POST ADAPTATION LAYOUT

TOTAL OF 1 UNIT:
4.0.13

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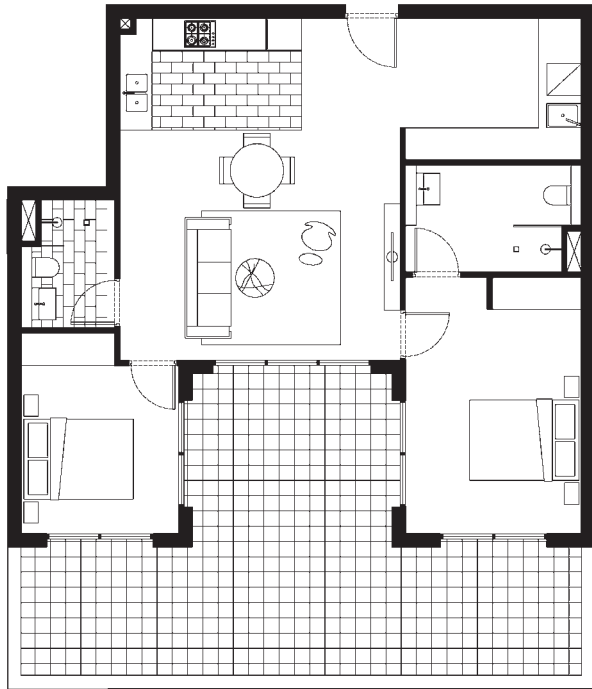
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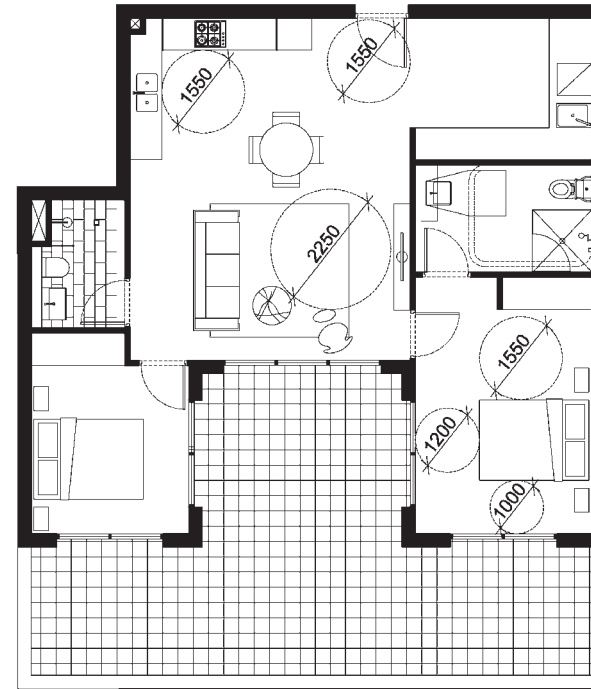
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PROJECT
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE			
BUILDING 4 - ADAPTABLE UNIT PLAN 03			
SCALE 1:50@A1 1:100@A3	DATE 03/08/2016	DRAWN BO	CHECKED MS
JOB 14001	DRAWING DA16.13	REVISION A	



**2B
PRE-ADAPTATION LAYOUT**



**2B
POST ADAPTATION LAYOUT**

**TOTAL OF 1 UNIT:
4.0.14**

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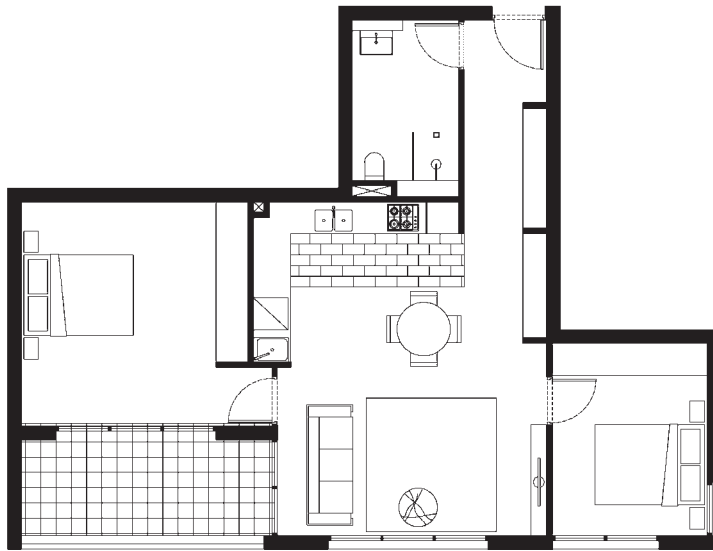
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PROJECT
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE			
BUILDING 4 - ADAPTABLE UNIT PLAN 04			
SCALE 1:50@A1 1:100@A3	DATE 03/08/2016	DRAWN BO	CHECKED MS
JOB 14001	DRAWING DA16.14	REVISION A	



**2B
PRE-ADAPTATION LAYOUT**



**2B
POST ADAPTATION LAYOUT**

TOTAL OF 7 UNIT:
4.1.15, 4.2.15, 4.3.15, 4.4.15, 4.5.15, 4.6.10, 4.7.10

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PROJECT
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

DRAWING TITLE			
BUILDING 4 - ADAPTABLE UNIT PLAN 05			
SCALE 1:50 @ A1 1:100 @ A3	DATE 03/08/2016	DRAWN BO	CHECKED MS
JOB 14001	DRAWING DA16.15	REVISION A	



2B 87m²
PRE-ADAPTATION LAYOUT



2B 87m²
POST ADAPTATION LAYOUT

TOTAL OF 4 UNIT:
4.8.05, 4.9.05, 4.10.05, 4.11.05

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PROJECT
THE MILLS
BUILDINGS 3-4
1-11 NEIL STREET, MERRYLANDS

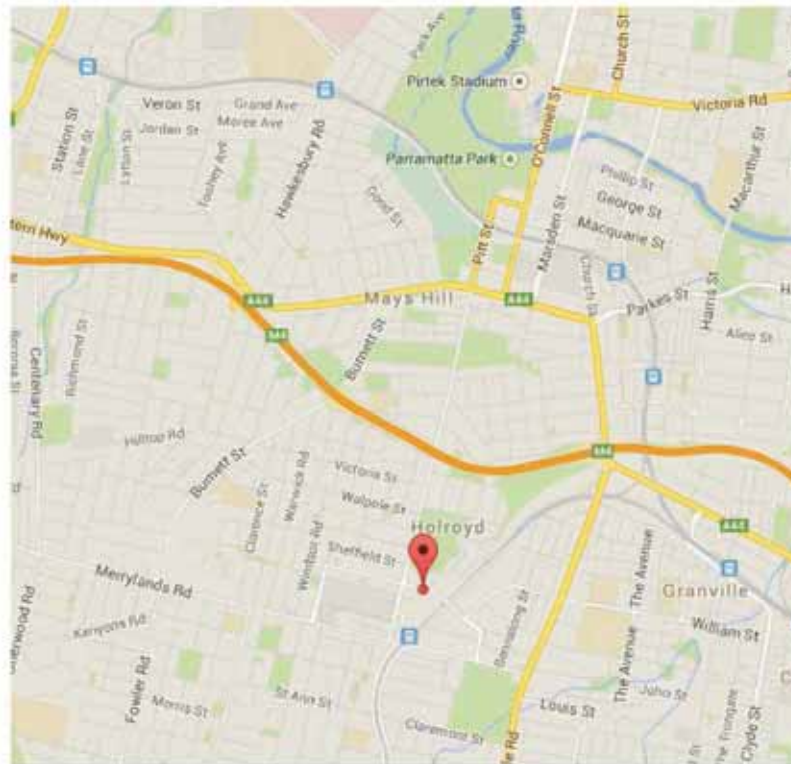
DRAWING TITLE			
BUILDING 4 - ADAPTABLE UNIT PLAN 06			
SCALE 1:50@A1 1:100@A3	DATE 03/08/2016	DRAWN BO	CHECKED MS
JOB 14001	DRAWING DA16.16	REVISION A	

THE MILLS - RESIDENTIAL APARTMENTS

LANDSCAPE DEVELOPMENT APPLICATION (BUILDINGS B3 & B4)

1-11 NEIL STREET MERRYLANDS

LOT 1 in DP 203553 & LOT 11 in DP 228782



1 SITE LOCALITY MAP
NOT TO SCALE (SOURCE: GOOGLE MAPS)



2 SITE AERIAL PHOTOGRAPH
NOT TO SCALE (SOURCE: GOOGLE MAPS)

DRAWING SCHEDULE

DWG. NO.	ISSUE	TITLE	SCALE AT A3	SCALE @ A1
LS	A	LANDSCAPE COVER SHEET	NOT TO SCALE	NOT TO SCALE
LS-101	A	LANDSCAPE SITE PHOTOS	NOT APPLICABLE	NOT APPLICABLE
LS-201	B	LANDSCAPE SITE PLAN GROUND FLOOR	1:400	1:200
LS-301	B	LANDSCAPE PLAN BUILDING 3 GROUND FLOOR	1:200	1:100
LS-302	B	LANDSCAPE PLAN BUILDING 4 GROUND FLOOR	1:300	1:150
LS-303	B	LANDSCAPE PLAN BUILDING 4 LEVEL SIX	1:300	1:150
LS-401	A	LANDSCAPE PLANTING	NOT APPLICABLE	NOT APPLICABLE
LS-402	A	LANDSCAPE DETAILS	NOT TO SCALE	NOT TO SCALE

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THE MILLS BUILDINGS B3 & B4 1-11 NEIL STREET MERRYLANDS

LANDSCAPE COVER

LS

A

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THE MILLS BUILDINGS B3 & B4 1-11 NEIL STREET MERRYLANDS

LANDSCAPE COVER

LS

A



P1 - IMAGE 1

Existing estate entry gatehouse,
Walpole Street.



P4 - IMAGE 4

Upstream drainage swale and
creekline to extend into The
Mills Apartment site.



P2 - IMAGE 2

View north east across The Mills
Apartments project site.



P5 - IMAGE 5

View north along Dressler
Court.



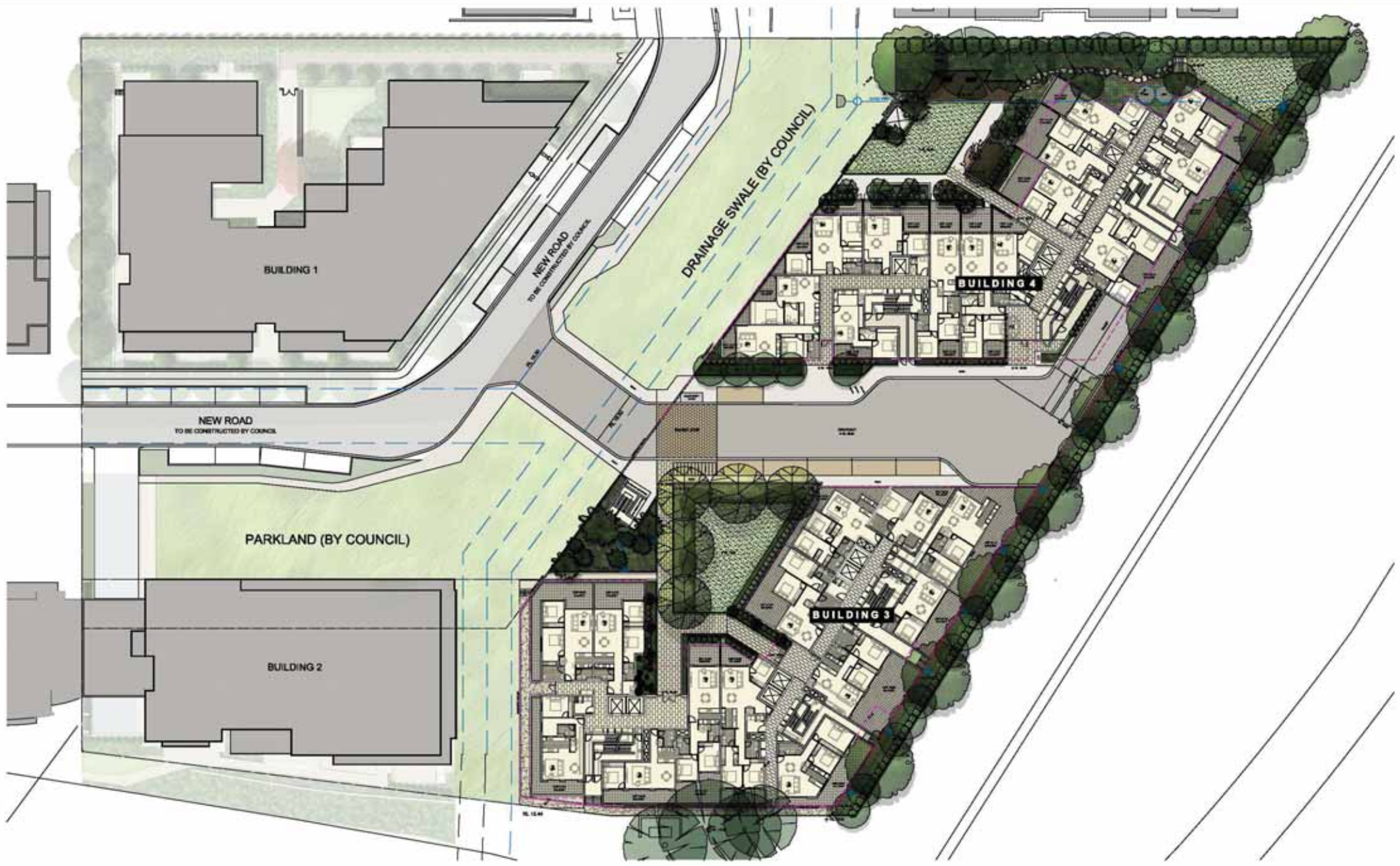
P3 - IMAGE 3

View south along Brickworks
Drive



P6 - IMAGE 6

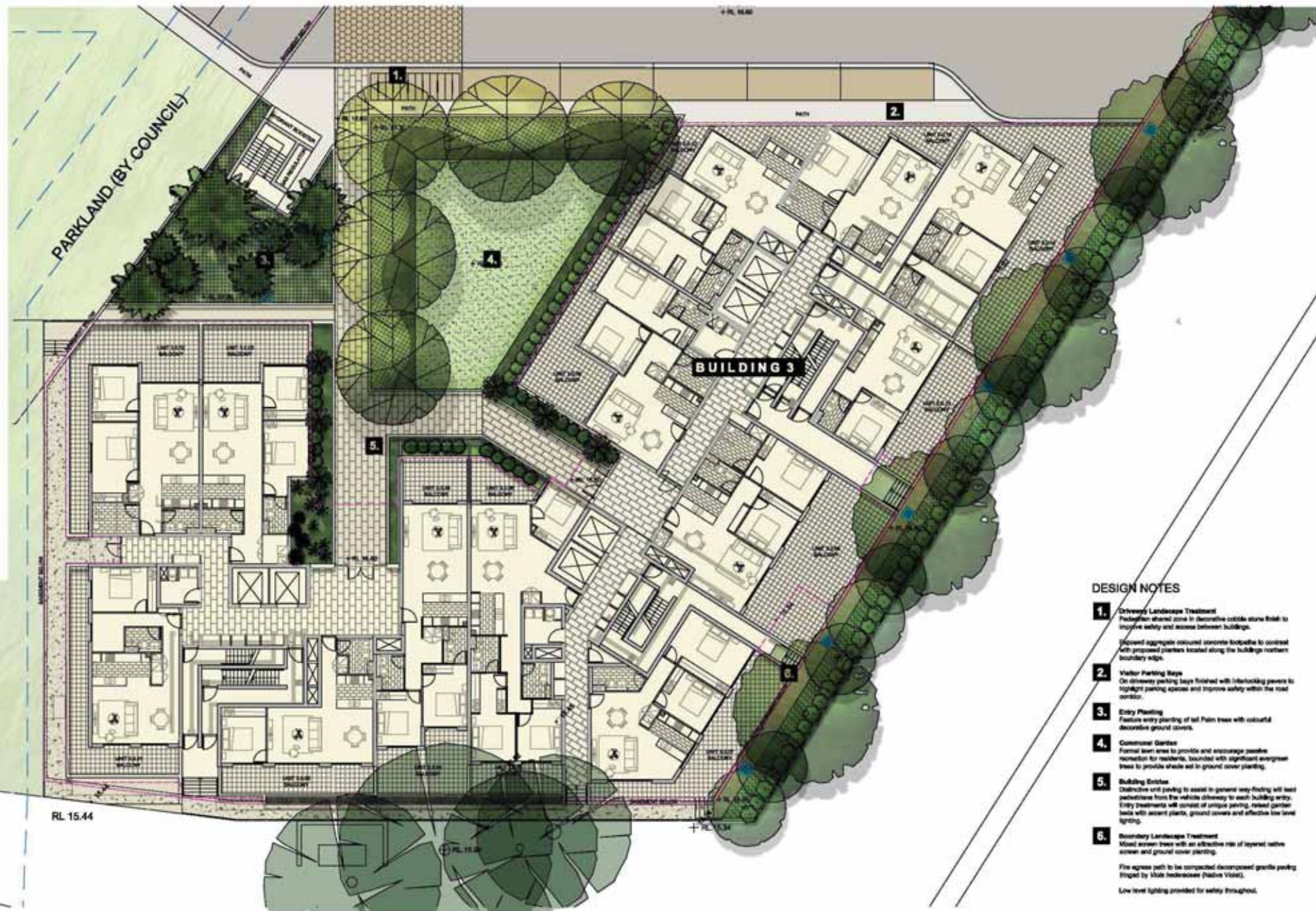
View facing south along
Dressler Court into the entry to
The Mills Apartments project
site.



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LEGEND

- BENCHMARK (MGRS2011 RL 16.88 (PLAN))
- EXISTING/PROPOSED SPOT LEVELS
- EXISTING TREES TO RETAIN (REFER ARCHITECT'S DRAWINGS)
- PARK BENCH (SEEKING TO FUTURE SPEC.)
- MASONRY WALLING (REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 1 - LIME (REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 2 - TERRAZZO (REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 3 - LIME (REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 4 - CONCRETE (REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 5 - CONCRETE (REFER ARCHITECT'S DRAWINGS)
- PAVING TYPE 6 - GRASS (REFER ARCHITECT'S DRAWINGS)
- STEPPING STONES TYPE (TYPICAL GARDEN AREAS)
- DRAINAGE PIT (REFER ENGINEER'S DRAWINGS)
- SITE TIME (REFER ENGINEER'S DRAWINGS)
- LAWN AREA
- EVERGREEN TREE PLANTING (REFER PLANT SCHEDULE)
- DECIDUOUS TREE PLANTING (REFER PLANT SCHEDULE)
- SCREEN PLANTING (REFER PLANT SCHEDULE)
- GROUND COVER PLANTING (REFER PLANT SCHEDULE)



DESIGN NOTES

- 1. Driveway Landscaping Treatment**
Provide a shared zone in decorative cobble stone tiles to improve safety and access between buildings.
Install aggregate coloured concrete footpaths to contrast with proposed paving located along the building's northern boundary edge.
- 2. Visitor Parking Bay**
On driveway parking bays finished with interlocking pavers to highlight parking spaces and improve safety within the road corridor.
- 3. Entry Planting**
Feature entry planting of tall Palm trees with coloured decorative ground covers.
- 4. Courtyard Garden**
Formal lawn area to provide and encourage passive recreation for residents, bounded with significant evergreen trees to provide shade and to ground cover planting.
- 5. Building Entrance**
Distinctive unit paving to assist in general way-finding will lead pedestrians from the vehicle driveway to each building entry. Entry treatments will consist of unique paving, raised garden beds with accent plants, ground covers and effective low level lighting.
- 6. Boundary Landscaping Treatment**
Mixed screen trees with an attractive mix of layered native screen and ground cover planting.
Fire access path to be compacted decomposed granite paving fringed by Stone hedgerow (Native Vines).
Low level lighting provided for safety throughout.

RL 15.44

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FOR DEVELOPMENT APPLICATION		20/10/18
FOR INFORMATION		07/10/18
DESCRIPTION		DATE
REV		

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PROJECT
THE MILLS
BUILDINGS B3 & B4
1-11 NEIL STREET MERRYLANDS

DRAWING TITLE
LANDSCAPE PLAN
BUILDING 3 GROUND FLOOR

SCALE
1:100 @ A1 / 1:200 @ A3
FOR DEVELOPMENT APPLICATION

DATE
20/10/18

DRAWING NUMBER
LS-301

ISSUE
B

LEGEND



DRAINAGE SWALE (BY COUNCIL)

BUILDING 4

DESIGN NOTES

- 7. Seating Mole**
Casual seating set over an elevated deck located at grade with the communal garden area and adjacent to a group of existing trees. Deck to be constructed in conjunction with Project Architect's recommendations to ensure tree protection.
 - 8. Garden Walk**
Leading from the seating mole to the informal lawn area the garden walk passes an existing stand of Eucalypt trees. The walk is made from stone stepping stones set in decorative pebble plants and ground cover planting. The existing ground level will be maintained to ensure tree health.
 - 9. Informal Lawn**
Located to the north east corner of the site within the on site retention basin is an informal lawn area to maximise usable outdoor recreation space within the development.
 - 10. Seating Element**
Existing as the vehicle school vent an opportunity exists to place the surface of the seating structure with decorative material finishes and planting. Further the structure will be surrounded by Palm trees and ground cover planting.
 - 11. Formal Lawn**
Formal lawn area to provide and encourage passive recreation for residents. Low level lighting and feature paving will be provided throughout.
 - 12. Tree Screen Planting**
Use of medium evergreen and deciduous trees set in 1000mm deep rounded raised garden beds will provide an effective screen to the building elevation. One meter high hedging will provide privacy to ground floor apartments.
 - 13. Ground Floor Apartment Gardens**
Private courtyard garden spaces surrounded by solid powder coated aluminium security fencing with gate to communal area for maintenance access.
- Planting will consist of layered exotic screen and shrub ground covers.

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NO	FOR DEVELOPMENT APPLICATION	20/10/18
A	FOR INFORMATION	07/10/18
REV	DESCRIPTION	DATE

NORTH



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PROJECT
THE MILLS
BUILDINGS B3 & B4
1-11 NEIL STREET MERRYLANDS

DRAWING TITLE
LANDSCAPE PLAN
BUILDING 4 GROUND FLOOR

SCALE
1:100 @ A1 / 1:200 @ A3
FOR DEVELOPMENT APPLICATION

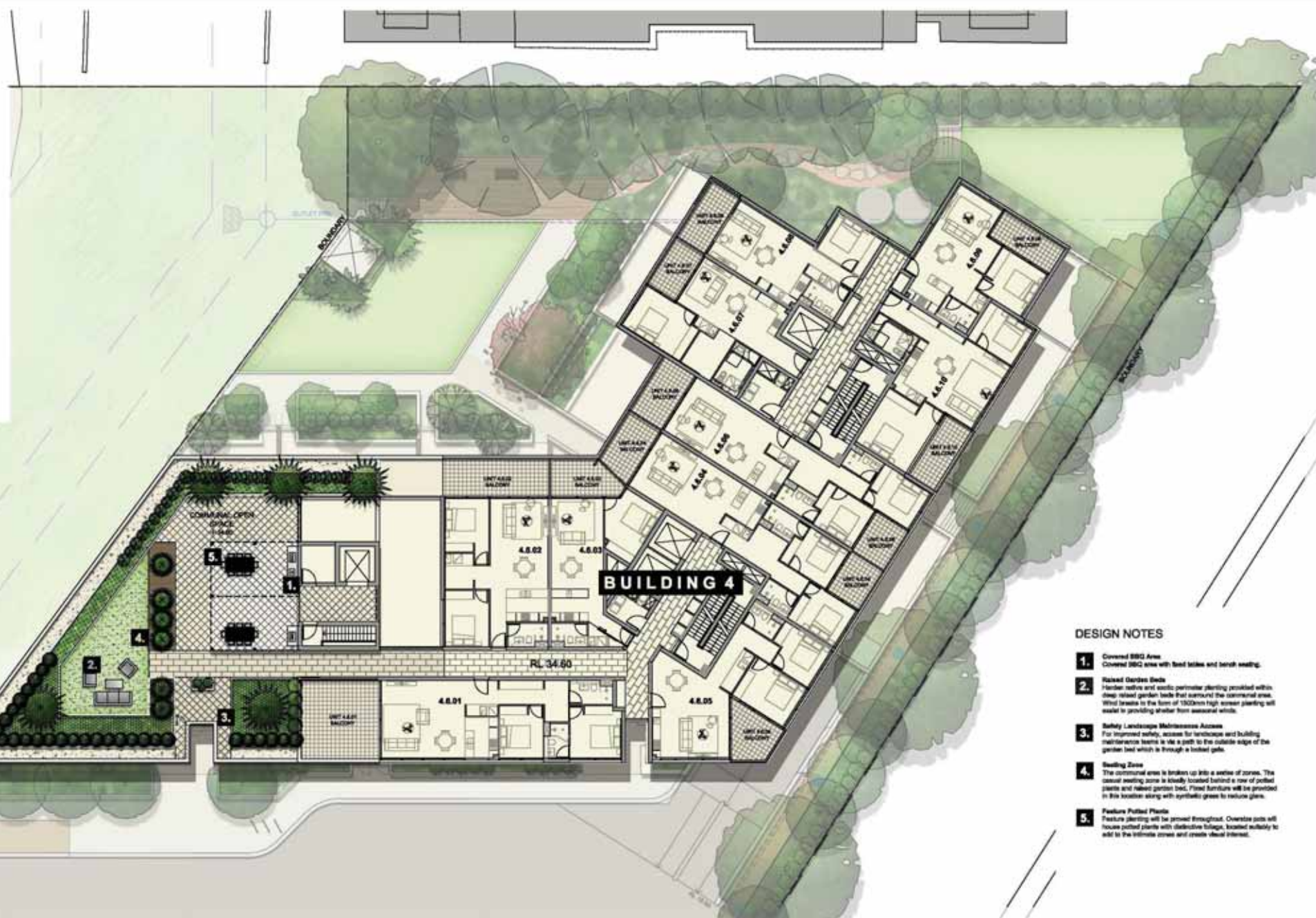
DATE
20/10/18

DRAWING NUMBER
LS-302

SHEET
B

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	ROCK MARK SIGN (SEE P. 10, 20, 30)
	SPOT LEVEL
	PARK SIGN HEATING (TO PLANT SPEC.)
	BOUNDARY LINE (REFER ARCHITECT'S DRAWING)
	PAVING TYPE 1 - UNIT (REFER ARCHITECT'S DRAWING)
	PAVING TYPE 2 - TRIMER (REFER ARCHITECT'S DRAWING)
	PAVING TYPE 3 - UNIT (REFER ARCHITECT'S DRAWING)
	PAVING TYPE 4 - CONCRETE (REFER ARCHITECT'S DRAWING)
	PAVING TYPE 5 - CONCRETE (REFER ARCHITECT'S DRAWING)
	EXTENSIVE LAWN AREA
	PLANTING (SEE PLANTING SCHEDULE)
	PLANTING (SEE PLANTING SCHEDULE)
	PLANTING (SEE PLANTING SCHEDULE)
	PLANTING (SEE PLANTING SCHEDULE)



- 1. Covered BBQ Area**
Covered BBQ area with fixed tables and bench seating.
- 2. Raised Garden Beds**
A raised garden and arctic perimeter planting provided with deep raised garden beds that surround the commercial area. Wood trellises in the form of 1300mm high screen planting will be used to provide shelter from seasonal winds.
- 3. Safety Landscape Maintenance Access**
For improved safety, access for landscape and building operations teams is via a path to the outside edge of the garden bed which is through a locked gate.
- 4. Seating Zone**
The commercial area is broken up by a series of zones. The casual seating zone is ideally located behind a row of potted plants and raised garden bed. Fixed furniture will be provided in this location along with synthetic grass to reduce grass.
- 5. Feature Potted Plants**
Feature planting will be placed throughout. Over time plants will become potted plants with decorative foliage, located subtly to add to the intimate zones and create subtle interest.

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PROJECT
THE MILLS
BUILDINGS B3 & B4
1-11 NEIL STREET MERRYLANDS

DRAWING TITLE
LANDSCAPE PLAN
BUILDING 4 LEVEL SIX

SCALE	1:100 @ 1:100 @ A3
STATUS	FOR DEVELOPMENT APPLICATION
DESIGN/COORDINATOR	HG/ED
VERIFIED	KS
DATE	24/1/2016
JOB NUMBER	10719
DRAWING NUMBER	
LS-303	8

PLANT SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	CELTREES	POT	H / 10' "	TOTAL	NATIVE	WATER USE	LOCATION
TREE PLANTING									
AZ	ACEROLA BENTHE	LILLY PILLY	BETOUT	1000	10-15 x 5-10m	3	Y	L	N BOUNDARY
CD	CESTRUM TETRALEUCUM	CHRISTMAS BUSH	BETOUT	400	5-10 x 3-5m	18	Y	L	S BOUNDARY
BN	SLACOGARPU RETICULAT	BLUEBERRY ASH	BETOUT	1000	10-15 x 5-10m	12	Y	L	S BOUNDARY
EN	EUCALYPTUS MICROCORPS	TALL WOOD	BETOUT	400	40 x 5-15m	1	Y	L	N BOUNDARY
JM	GLOCHIDION PEPERARDI	CHEESE TREE	BETOUT	700	5-12 x 5-10m	8	Y	L	S BOUNDARY
JA	JACARANDA MICROPHYLLA	JACARANDA	BETOUT	1000	10-12 x 5-15m	1	N	L	COMMUNAL ZONE
LI	LAGERSTROMIA INDICA	CRISP MYRTLE	BETOUT	1000	5-10 x 4-6m	3	N	L	COMMUNAL ZONE
LA	LEISTONIA AUSTRALIS	CARABE TREE PALM	BETOUT	4000	5-10 x 3-5m	11	N	L	COMMUNAL ZONE
ML	MAGNOLIA GRANDIFLORA LITTLE SEM	LITTLE GEM MAGNOLIA	BETOUT	1000	4-6 x 3-5m	7	N	L	COMMUNAL ZONE
MS	MAGNOLIA GRANDIFLORA	BULL BAY MAGNOLIA	BETOUT	2000	10-15 x 5-10m	8	N	L	COMMUNAL ZONE
SCREEN PLANTING									
	ACEROLA BENTHE MINOR	DRYF LILLY PILLY	1000mm	200	4000 x 1000mm	32	Y	L	N BOUNDARY
	BARRIGA ERICIFOLIA	HEATH BARRIGA	1000mm	300mm	3000 x 2000mm	110	Y	L	S BOUNDARY
	GREVILLEA MISTY PINK	GREVILLEA	1000mm	300mm	3000 x 2000mm	110	Y	L	S BOUNDARY
	GREVILLEA BARBARA GORDON	GREVILLEA	1000mm	300mm	3000 x 2000mm	110	Y	L	S BOUNDARY
	GARDENIA FLORIDA	FLORIDA GARDENIA	NANOMOM	200	1200 x 1000mm	10	N	L	COURTYARD
	MURRAYA FANOLATA	ORANGE JESSAMINE	700mm	200	3000 x 1000mm	30	N	L	ROOF GARDENS
	MURRAYA NEROLIA	DRYF MURRAYA	800mm	200	1000 x 800mm	80	N	L	COMMUNAL AREAS
	MURRAYA NEROLIA	DRYF MURRAYA	800mm	200	1000 x 800mm	24	N	L	ROOF GARDENS
	PHORMIUM ATROPURPUREUM	RED NE FLAX	800mm	200	1000 x 800mm	24	N	L	ENTRIES
	RYAPHOLOPS TALLERINA	INDIAN HARTHORN	1000mm	400	2000 x 1000mm	31	N	L	ROOF GARDENS
	RYAPHOLOPS TALLERINA	LADY PALM	1000mm	400	2000 x 1000mm	31	N	L	BLD 04 GROUND
ACCENT PLANTING									
	ASPLENIUM NIDUS	BIRD NEST FERN	RANDOM	200	VARIABLE	10	Y	L	ENTRIES
	ORCHID PUNICULATUM	ORCHID PUNICULATUM	RANDOM	200	1000 x 800mm	18	Y	L	ENTRIES
	SPOROCYLLIS AXILLARIS	FRIED EGG PLANT	SPECIMEN	700	2000 x 1000mm	10	N	L	ROOF GARDENS
	PHORMIUM YELLOW WAVE	YELLOW NE FLAX	SPECIMEN	200	800 x 800mm	8	N	L	ENTRIES
	STREPTOCARPA JUNCUS	BIRD OF PARADISE	RANDOM	400	VARIABLE	10	N	L	BLD 03 L12
	YUCCA ELEPHANTOPUS	YUCCA	SPECIMEN	1000	VARIABLE	8	N	L	ROOF GARDENS
GROUND COVER PLANTING									
	CAPSOBROTUS	PIG FACE	SH2	140mm	800 x 800mm	20	Y	L	ROOF GARDENS
	LOMANERA TANKI	DRYF BASKET GRASS	SH2	140mm	800 x 800mm	300	Y	L	BLD 03
	PERISTETIUM ALPICOLOIDES	FOUNTAIN GRASS	SH2	140mm	800 x 800mm	300	Y	L	BLD 03
	SEDUM GOLD MOUND	SEDUM	SH2	140mm	100 x 100mm	100	Y	L	ROOF GARDENS
GROUND COVER PLANTING - MIX A									
	CLIVEA MINATA	BUSH LILY	SH2	200mm	400 x 400mm	30	N	L	
	CTENANTHUS SETOSA GREY STAR	KAMBUJANTA	SH2	140mm	2000 x 1000mm	18	N	L	BLD 03 SOUTH
	LYROPS EVERGREEN GRASS	GRASS LYROPS	SH2	140mm	800 x 800mm	30	N	L	
	PHILODENDRON XANADU	XANADU	SH2	140mm	800 x 800mm	18	N	L	
	VIOLA HERCYNICA	NATIVE VIOLET	SH2	100mm	100 x 100mm	30	Y	L	
GROUND COVER PLANTING - MIX B									
	ADONISANTHUS SNOW STORM	DRYF WHITE AGGY	SH2	140mm	800 x 800mm	50	N	L	BLD 04 COURTYARD
	GARDENIA NADCAE	PROSTRATE GARDENIA	SH2	200mm	400 x 800mm	50	N	L	
GROUND COVER PLANTING - MIX C									
	GAZANIA TOMBIDORA	SILVER LEAF GAZANIA	SH2	140mm	200 x 300mm	110	N	L	BLD 03 ENTRY
	HEMEROCALLIS FULVA	DAY LILY	SH2	140mm	800 x 800mm	110	N	L	
GROUND COVER PLANTING - MIX D									
	ADONISANTHUS PRACON	AFRICAN LILY	SH2	140mm	800 x 800mm	150	N	L	
	GARDENIA NADCAE	PROSTRATE GARDENIA	SH2	200mm	400 x 800mm	150	N	L	
	LYROPS EVERGREEN GRASS	GRASS LYROPS	SH2	140mm	800 x 800mm	150	N	L	COMMUNAL AREAS
	PHILODENDRON XANADU	XANADU	SH2	140mm	800 x 800mm	80	N	L	
	PHORMIUM BRONZE BAY	NZ FLAX	SH2	140mm	800 x 800mm	150	N	L	
	STREPTOCARPA JUNCUS	BIRD OF PARADISE	SH2	200	1000 x 1000mm	80	N	L	
GROUND COVER PLANTING - MIX E									
	DIWELLA CAMERULA	DIWELLA	SH2	140mm	400 x 400mm	220	Y	L	
	DORYANTHUS EXCELSA	DIWELLA LILY	SH2	140mm	1000 x 1000mm	150	Y	L	
	LOMANERA TANKI	DRYF MATT RUSH	SH2	140mm	800 x 800mm	220	Y	L	NORTHERN BOY
	PERISTETIUM RUBRUM	FOUNTAIN GRASS	SH2	100mm	1000 x 1000mm	200	Y	L	
	VIOLA HERCYNICA	NATIVE VIOLET	SH2	100mm	100 x 100mm	220	Y	L	
	WESTRINGIA FRUITCOGA	COASTAL ROSEMARY	SH2	140mm	1000 x 1000mm	150	Y	L	
GROUND COVER PLANTING - MIX F									
	CAREX APPRESSA	TALL BECKE	SH2	100mm	800 x 800mm	150	Y	NA	
	ORCHID PUNICULATUM	ORCHID	SH2	100mm	1000 x 800mm	150	Y	NA	
	BOLEPS HODGSON	KNOBBY CLUB RUSH	SH2	100mm	800 x 800mm	270	Y	NA	OLD BASIN EAST BOY
	ARCULUS LIBERTATIS	COMMON RUSH	SH2	100mm	800 x 400mm	270	Y	NA	
	LOMANERA HYSTRIX	SPINEY MATT RUSH	SH2	100mm	800 x 400mm	270	Y	NA	
	THEMIZA TRIANGULARIS	KANGAROO GRASS	SH2	100mm	800 x 400mm	270	Y	NA	

TREE PLANTING



SCREEN PLANTING



GROUND COVER PLANTING



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- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
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- THE LEVELS SHOWN ON THIS PLAN HAVE BEEN BASED ON SURVEY BY STATA SURV, DATED AUGUST 2014.

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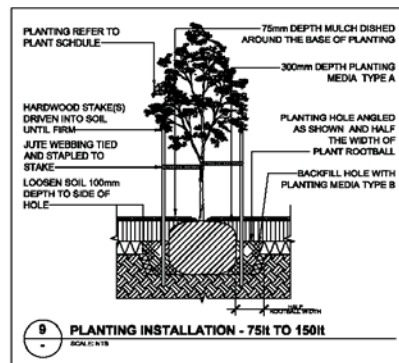
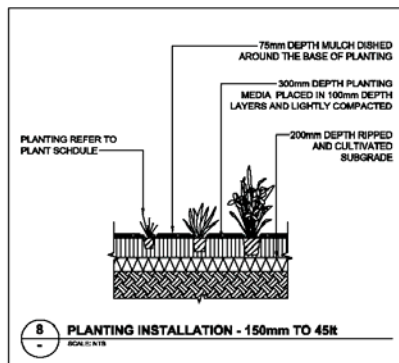
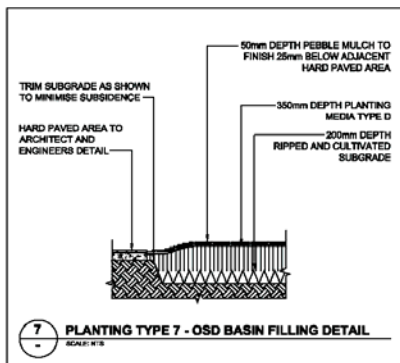
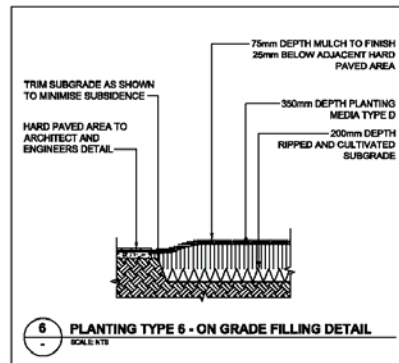
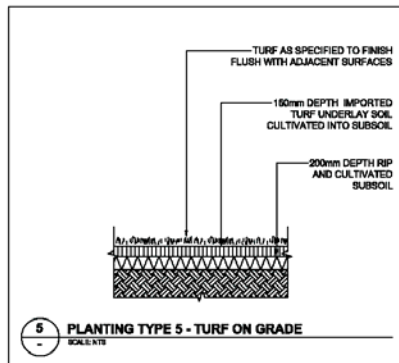
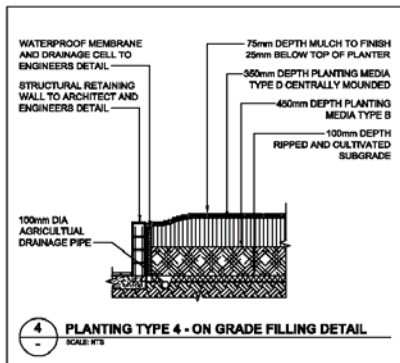
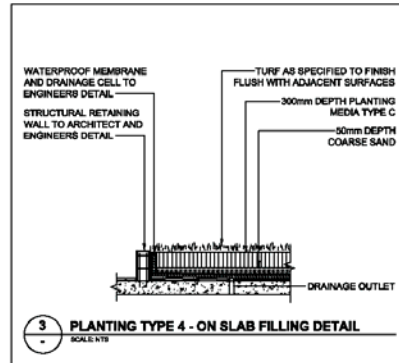
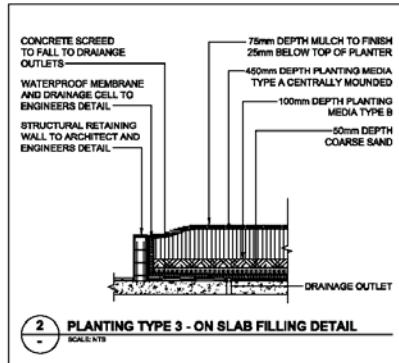
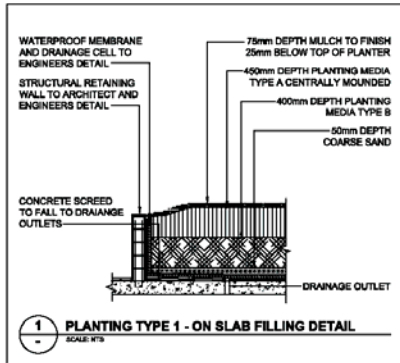
ARCHITECT
marchespartners
Level 1, 81 Walker Street North Sydney NSW 2060
Tel 02 9882 1270

PROJECT
THE MILLS BUILDINGS B3 & B4
1-11 NEIL STREET MERRYLANDS

DRAWING TITLE
LANDSCAPE PLANTING

SCALE
SCALE: 1:100
DATE: 04/10/2014
JOB NUMBER: LS-401

NOT APPLICABLE FOR DEVELOPMENT APPLICATION
DATE: 04/10/2014
JOB NUMBER: LS-401



CONSTRUCTION NOTES

HARD LANDSCAPE

FENCING
REFER TO ARCHITECTURAL PLANS AND SPECIFICATION.

RETAINING WALLS
LOCATIONS AND FINISH AS PER ARCHITECTURAL SETOUT PLANS. CONSTRUCTION AS PER WATERPROOFING AS PER ENGINEERING DETAILS AND SPECIFICATION.

FOOTPATHS
LOCATIONS AND FINISH AS PER ARCHITECTURAL SETOUT PLANS. CONSTRUCTION AS PER ENGINEERING DETAILS AND SPECIFICATION.

LIGHTING
LOCATIONS AND FINISH AS PER ARCHITECTURAL SETOUT PLANS.

TIMBER GARDEN EDGE
TIMBER EDGE - 75x25mm HARDWOOD WITH 50x50mm HARDWOOD PEGS IN EACH CORNER.

SOFT LANDSCAPE

STANDARDS
STORAGE AND HANDLING OF PESTICIDES TO AS 2607, SITE AND IMPORTED TOPSOIL TO AS 4418. COMPOSTS, SOIL CONDITIONERS AND MULCHES TO AS 4454.

SUBMISSIONS
SOIL: TESTS FOR IMPORTED TOPSOIL WITH CERTIFICATE NOTING THE SUITABILITY OF EACH SOIL TYPE FOR ITS SPECIFIED USE, SIMILARITY TO NATURALLY OCCURRING LOCAL SOIL, SUITABILITY FOR ESTABLISHMENT AND ON-GOING VIABILITY OF THE SITE SPECIFIED VEGETATION, AND ABSENCE OF ANY WEED PROPAGULES OR CONTAMINANTS. **SAMPLES:** SUBMIT REPRESENTATIVE SAMPLES OF EACH MATERIAL PACKED TO PREVENT CONTAMINATION AND LABELLED TO INDICATE SOURCE AND CONTENT. SAMPLES TO REMAIN ON SITE FOR THE DURATION OF THE CONSTRUCTION WORKS.

PLANTING MEDIA
IMPORTED TOPSOIL AND/OR TOPSOIL WON AND STOCKPILED ON SITE. TOPSOIL TO BE OF A FRUITFUL, FERTILE NATURE, FREE FROM WEEDS AND WEED SEEDS, BULBS, CORNS AND VEGETABLE PROPAGULES, FREE FROM REFUSE OR MATERIALS TOXIC TO HUMANS, ANIMALS OR PLANTS. FREE FROM STUMPS, ROOTS, CLAY LUMPS OR STONES LARGER THAN 50mm IN SIZE. pH RANGE 5.5 TO 7.5. MAXIMUM SOLUBLE SALT CONTENT 0.06% BY MASS. MINIMUM ORGANIC CONTENT 3% BY MASS.

PLANTING MEDIA TYPE A TO BE LIGHT WEIGHT PLANTER BOX MIX WITHOUT CLAY FINES.

PLANTING MEDIA TYPE B TO BE INORGANIC LIGHT WEIGHT PLANTER BOX MIX WITHOUT CLAY FINES OR ORGANIC MATTER.

PLANTING MEDIA TYPE C TO BE LIGHT WEIGHT PLANTER BOX MIX WITHOUT CLAY FINES AND SUITABLE FOR TURF UNDERLAY.

PLANTING MEDIA TYPE D TO BE ORGANIC GARDEN MIX AS PER AS 4418.

PLANTING MEDIA TYPE E TO BE TURF UNDERLAY MIX.

FERTILISER
ORGANIC TYPE: 0.3:1.8:2.8
NITROGEN:PHOSPHORUS:POTASSIUM RATIO.

MULCH
ORGANIC HORTICULTURAL PINE BARK LANDSCAPE MULCH 20mm GRADED.

INORGANIC PEBBLE MULCH 5-40mm GRADED.

HARDWOOD STAKES AND TIES
FOR ADVANCED STOCK, 2 STAKES, 25 x 25 x 2000mm, SHARPENED AT ONE END DRIVEN INTO THE GROUND 1/3 OF OVERALL LENGTH. SECURE HESSIAN WEBSING IN A FIGURE OF EIGHT, STAPLED TO STAKES.

PLANT MATERIALS
TURF: SRR WALTER BUFFALO, FREE FROM WEEDS, SOIL PESTS AND DISEASE, 25mm DEPTH OF DENSE, WELL ROOTED, WOODRUS GRASS GROWTH WITH 25mm DEPTH OF TOPSOIL. SUPPLY SOUND UNBROKEN ROLLS IN STANDARD INDUSTRY LENGTHS AND 300mm WIDTH. **CONTAINER STOCK:** SPECIES AS PER SCHEDULE AND CLEARLY LABELLED, HEALTHY, OF GOOD FORM AND NOT SOFT OR FORCED, LARGE ROBUST ROOT SYSTEM, NOT ROOT BOUND, FREE FROM DISEASE AND INSECT PESTS. TREE STOCK SHOULD HAVE A SINGLE LEADING SHOOT.

GARDEN BED AREAS ON GRADE
PREPARATION: TRIM SUBGRADE TO BULK EARTH WORKS LEVELS AS REQUIRED BY FINISHED SURFACE LEVELS. HERBICIDE TREATMENT TO SUPPLIER'S INSTRUCTIONS, 2 WEEKS PRIOR TO PLANTING.

SOIL CONDITIONING: TO SOIL TESTING RESULTS. GENERALLY GYPSUM.

RIPPING AND CULTIVATION: RIP THE SURFACE AT 500mm CENTRES TO A DEPTH OF 300mm AND BREAK THE TOP 500mm OF PLANTING BED BY CULTIVATION TO A MAXIMUM SIZE OF 60mm TO PRODUCE A LOOSE SURFACE AND REMOVE ALL LARGE STONES, RUBBISH AND OTHER MATERIALS THAT MAY HINDER PLANT ESTABLISHMENT.

PLANTING MEDIA: APPLY 300mm DEPTH OF APPROVED TOPSOIL IN UNIFORM 100mm DEPTH LAYERS CULTIVATING THE FIRST 100mm INTO THE SUB-GRADE, THEN LIGHTLY COMPACTING EACH OTHER LAYER TO MAKE UP THE NECESSARY GRADES. ENSURE FINISHED SOIL LEVEL ALLOWS FOR APPLICATION OF MULCH.

PLANT: PLANTING HOLE SHALL BE 2 TIMES ROOTBALL WIDTH. PLACE PLANT IN HOLE TO FINISH TOP OF ROOTBALL. FLUSH WITH SURROUNDING GARDEN BED AND BACKFILL WITH TOPSOIL. ADD APPROVED SLOW RELEASE FERTILISER. WATER IMMEDIATELY. ENSURE FINISHED SOIL LEVEL IS 25mm BELOW PAVED AREAS, KERBS OR GARDEN EDGING. **RAISED GARDEN BED:** SAME AS ABOVE. ENSURE WATER PROOF MEMBRANE TO REAR OF WALL AND AGRICULTURAL DRAINAGE TO BASE OF WALL IS PROVIDED. REFER TO ENGINEERING PLANS AND SPECIFICATION.

RAISED GARDEN BED AREAS ON CONCRETE SLAB
PREPARATION: CONCRETE SCREED, WATERPROOFING, PROTECTION BOARDING, DRAINAGE CELL AND CLEAR CONNECTION TO SITE STORMWATER SYSTEM TO ENGINEERS DETAILS AND SPECIFICATION.

PLANTING MEDIA: LIGHT WEIGHT PLANTER BOX MIX INSTALLED IN 100mm LAYERS, LIGHTLY COMPACTED TO MAKE UP PROVIDED DEPTHS ALLOWABLE. ENSURE FINISHED SOIL LEVEL ALLOWS FOR MULCH.

PLANT: PLANTING HOLE SHALL BE 2 TIMES ROOTBALL WIDTH. PLACE PLANT IN HOLE TO FINISH TOP OF ROOTBALL. FLUSH WITH SURROUNDING GARDEN BED AND BACKFILL WITH TOPSOIL. ADD APPROVED SLOW RELEASE FERTILISER. WATER IMMEDIATELY. ENSURE WATER PROOF MEMBRANE IS NOT DAMAGED.

MULCH: PLACE APPROVED MULCH AT 75mm DEPTH TO ENTIRE GARDEN BED, DISHED AROUND PLANT STEMS TO PREVENT COLLAR ROT. ENSURE FINISHED MULCH LEVEL IS 25mm BELOW PLANTER BOX EDGE.

IRRIGATION
FULLY AUTOMATIC DRIP IRRIGATION TO BE PROVIDED FOR ALL GARDEN BED AND LAWN AREAS. DESIGN AND CONSTRUCT TO MEET STONEY WATER REQUIREMENTS AND ALL RELEVANT AUSTRALIAN STANDARDS. WHERE POSSIBLE IRRIGATION SYSTEM SHOULD BE CONNECTED TO SITE RAIN WATER TANKS.

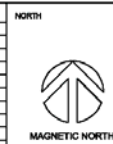
PLANTING ESTABLISHMENT
52 WEEK PLANTING ESTABLISHMENT PERIOD. WATERING AS PER SEASONAL REQUIREMENTS DICTATE. WEEDING AS NECESSARY. REPLACEMENT OF DAMAGED, STOLEN OR FAILED PLANTS. LAWN MOWING ON A WEEKLY BASIS, WITH TOPDRESSING AT THE END OF PLANTING ESTABLISHMENT PERIOD. REMOVE STAKES AND TIES.

DRAWING NOTES

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A	FOR DEVELOPMENT APPLICATION	25/10/16
REV	DESCRIPTION	DATE



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PROJECT
THE MILLS
BUILDINGS B3 & B4
1-11 NEIL STREET MERRYLANDS

DRAWING TITLE
LANDSCAPE PLANTING DETAILS

SCALE	NOT TO SCALE
DESIGNED/DRAWN	FOR DEVELOPMENT APPLICATION
VERIFIED	HQ/CO
DATE	KB
JOB NUMBER	04/10/2016
	18713
DRAWING NUMBER	ISSUE
LS-402	A

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PROPOSED RESIDENTIAL DEVELOPMENT THE MILLS - 1-11 NEIL STREET, MERRYLANDS NSW BUILDING 3 & 4 STORMWATER CONCEPT DESIGN



LOCALITY PLAN

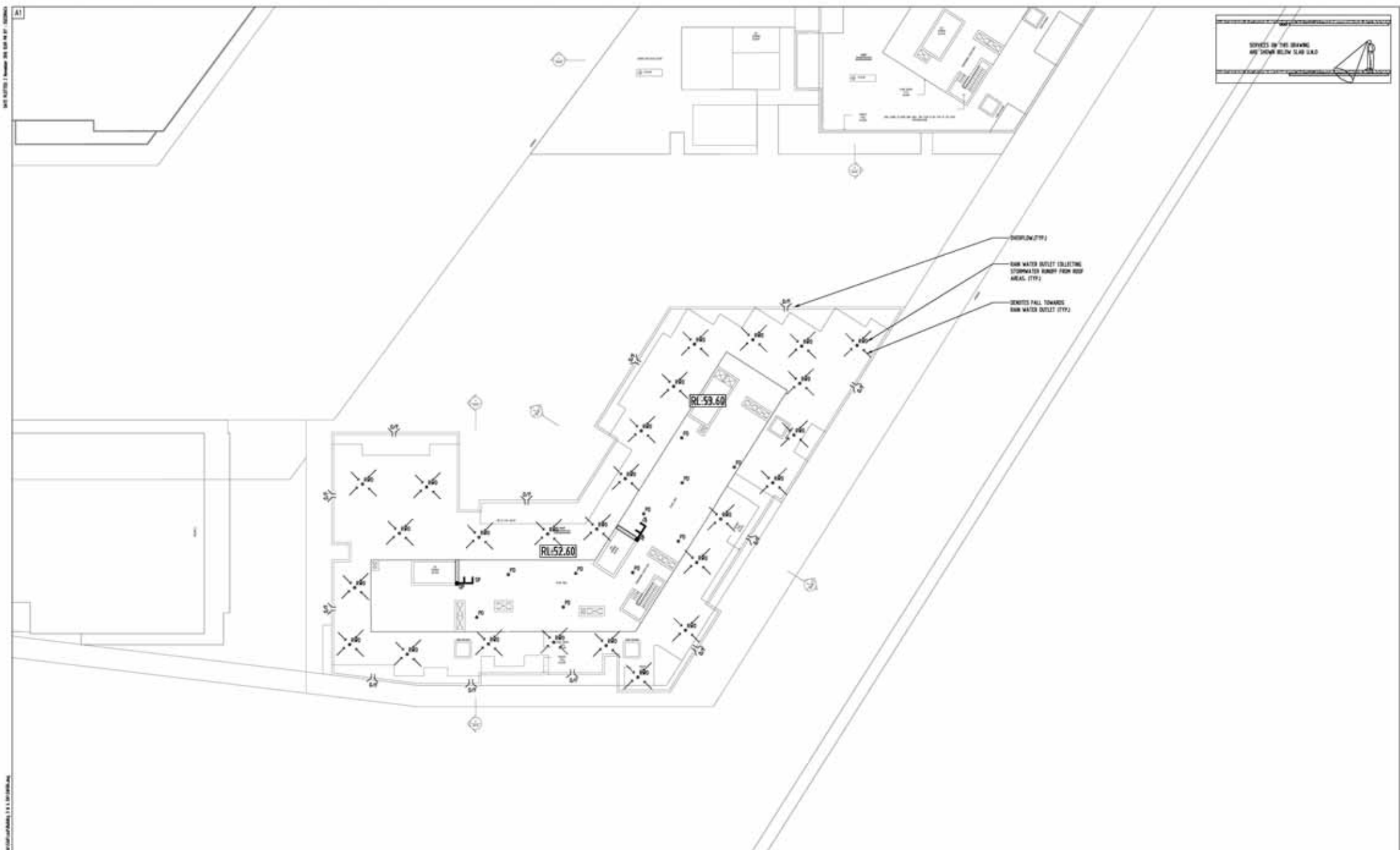
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No.	TITLE	REV
SW500	COVER SHEET	A
SW501	STORMWATER CONCEPT DESIGN - BASEMENT 3 PLAN	A
SW502	STORMWATER CONCEPT DESIGN - GROUND FLOOR PLAN - SHEET 1 OF 2	A
SW503	STORMWATER CONCEPT DESIGN - GROUND FLOOR PLAN - SHEET 2 OF 2	A
SW504	STORMWATER CONCEPT DESIGN - BUILDING 3 ROOF PLAN	A
SW505	STORMWATER CONCEPT DESIGN - BUILDING 4 ROOF PLAN	A
SW506	STORMWATER CONCEPT DESIGN - DETAILS SHEET	A
SW507	EROSION AND SEDIMENT CONTROL - PLAN AND DETAILS	A

Drawing Title		
COVER SHEET		
Project Number	Drawing Number	Revision Number
20140028	SW500	A
Sheet 1 of 8	Issue	FOR APPROVAL

[illegible]



Reference Coordination Drawing Drawing No. and Name Date Scale		QUALITY CONTROL Design Check Approved Date		CLIENT LANDMARK GROUP		ARCHITECT marchese partners		PROJECT BUILDING 3 & 4 NEIL ST RESIDENTIAL PRECINCT 1-11 NEIL STREET, MURRYLANDS NSW LOT 1 DP 209553 & LOT 11 DP 228782		FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES STORMWATER CONCEPT DESIGN GROUND FLOOR PLAN SHEET 1 OF 2	
Issue internal sequence and revision history No. Description Date By Appr.		Scale SCALE 1:200 ON ORIGINAL SIZE		Scale for original use 1:200 @ A1		Project No. 20140028		Sheet No. SW502		Revision No. A	

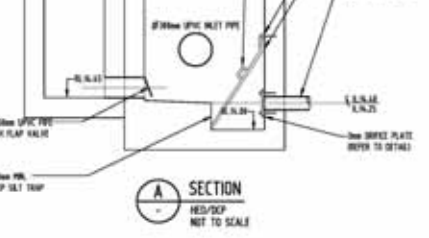
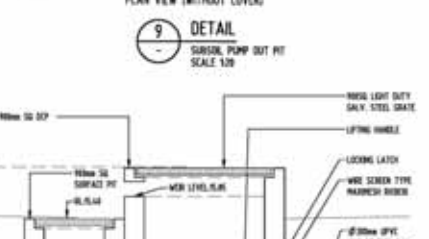
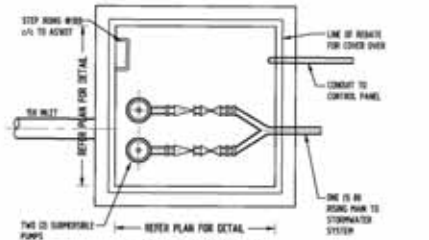
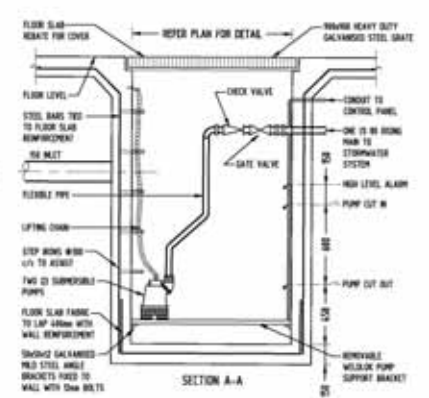
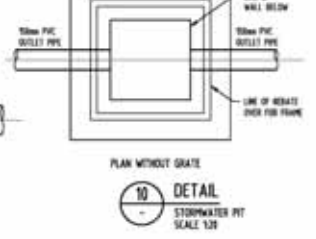
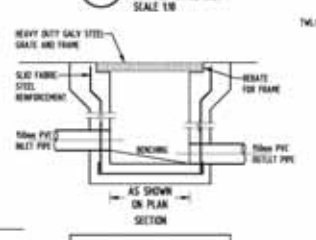
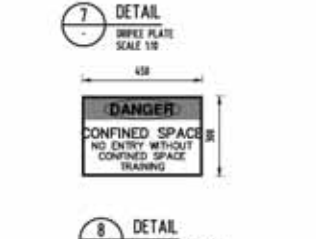
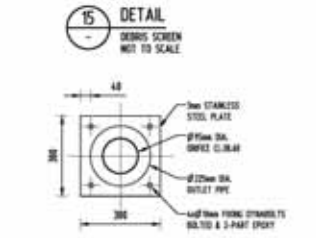
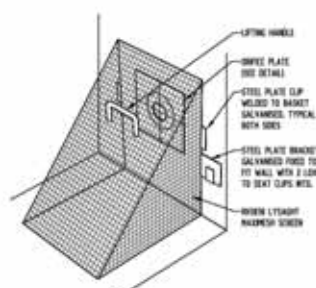
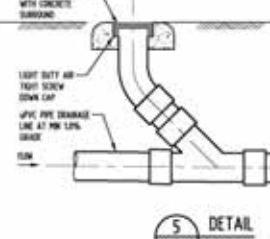
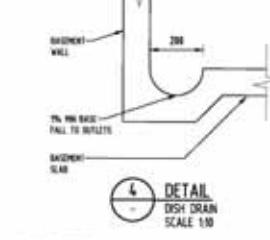
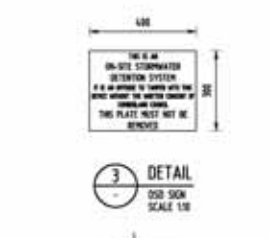
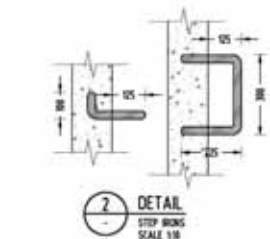
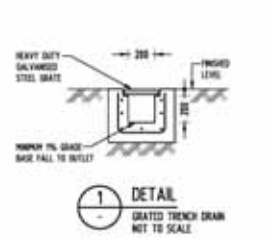


Reference Coordination Drawing				QUALITY CONTROL		CLIENT		ARCHITECT		PROJECT		FOR APPROVAL	
Description: Drawing Title and Number Date: 10/10/2014 Rev: 01/01				CHECKED: DATE DESIGNED: DATE VERIFIED: DATE APPROVED: DATE		LANDMARK GROUP		marchesepartners		BUILDING 3 & 4 NEIL ST RESIDENTIAL PRECINCT 1-11 NEIL STREET, MURRYLANDS NSW LOT 1 DP 203553 & LOT 11 DP 228782		STORMWATER CONCEPT DESIGN BUILDING 3 ROOF PLAN	
Issued internal sequence and revision history				SCALE: 1:200 ON ORIGINAL SIZE		A.N.N. 21158 221158		SGC Engineering Value		UNIT 412, Level 4, 14-16 LEXINGTON DRIVE BELLA VISTA, NSW 2153 T: +61 2 8863 4239 F: +61 2 9672 6977 Email: office@sgc.com.au Web: www.sgc.com.au		Project No: 20140028 Drawing No: SW504 Revision No: A	



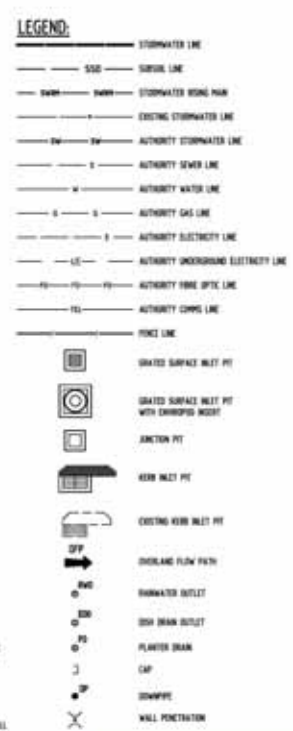
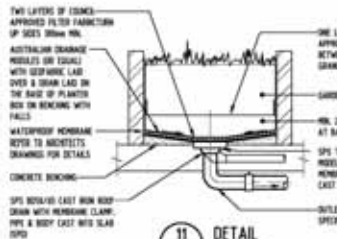
Reference Coordination Drawing <table><thead><tr><th>Location</th><th>Drawing Title and Number</th><th>Date</th><th>Rev</th></tr></thead><tbody><tr><td>1</td><td>10-10-10</td><td>10/10/10</td><td>1</td></tr><tr><td>2</td><td>10-10-10</td><td>10/10/10</td><td>2</td></tr><tr><td>3</td><td>10-10-10</td><td>10/10/10</td><td>3</td></tr><tr><td>4</td><td>10-10-10</td><td>10/10/10</td><td>4</td></tr><tr><td>5</td><td>10-10-10</td><td>10/10/10</td><td>5</td></tr><tr><td>6</td><td>10-10-10</td><td>10/10/10</td><td>6</td></tr><tr><td>7</td><td>10-10-10</td><td>10/10/10</td><td>7</td></tr><tr><td>8</td><td>10-10-10</td><td>10/10/10</td><td>8</td></tr><tr><td>9</td><td>10-10-10</td><td>10/10/10</td><td>9</td></tr><tr><td>10</td><td>10-10-10</td><td>10/10/10</td><td>10</td></tr></tbody></table>				Location	Drawing Title and Number	Date	Rev	1	10-10-10	10/10/10	1	2	10-10-10	10/10/10	2	3	10-10-10	10/10/10	3	4	10-10-10	10/10/10	4	5	10-10-10	10/10/10	5	6	10-10-10	10/10/10	6	7	10-10-10	10/10/10	7	8	10-10-10	10/10/10	8	9	10-10-10	10/10/10	9	10	10-10-10	10/10/10	10	QUALITY CONTROL <table><thead><tr><th>Check</th><th>Date</th></tr></thead><tbody><tr><td>DESIGNED</td><td>DATE</td></tr><tr><td>REVIEWED</td><td>DATE</td></tr><tr><td>APPROVED</td><td>DATE</td></tr><tr><td>APPROVED</td><td>DATE</td></tr></tbody></table>				Check	Date	DESIGNED	DATE	REVIEWED	DATE	APPROVED	DATE	APPROVED	DATE	CLIENT LANDMARK ARCHITECT marchesepartners				PROJECT BUILDING 3 & 4 NEIL ST RESIDENTIAL PRECINCT 1-11 NEIL STREET, MURRYLANDS NSW LOT 1 DP 203553 & LOT 11 DP 228782				FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES STORMWATER CONCEPT DESIGN BUILDING 4 ROOF PLAN			
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DATE: 02/11/2018 1:11 PM BY: J. L. L. (J. L. L.)



DRAINAGE NOTES:
ALL PIPES TO BE Laid ON 100mm SAND BED WITH THE BARRELS FULLY SUPPORTED
100mm AND 150mm DOWNCAST PIPES TO BE Laid ON MINIMUM 10% GRADE
MINIMUM DEPTH OF COVER FOR PIPES NOT SUBJECT TO VEHICULAR LOADING TO BE 100mm
ALL DRAINAGE PIPES Laid UNDER PAVEMENT SHALL BE REINFORCED CONCRETE WITH RIBBED BARS
BARKETT TRENCHES WITH COMPACTED SAND OR APPROVED AGGREGATE MATERIAL
HEAVY DUTY GRATES AND COVERS ARE TO BE PROVIDED IN TRAFFICABLE AREAS
PIT GRATE TO BE TYPE WELDED OR APPROVED EQUIVALENT
ALL PITS SHALL BE PROVIDED WITH A LOCKING CLIP
ALL PITS SHALL BE MAINTAINED REGULARLY
TOP OF BENCHING SHALL BE TO THE HALF OF THE OUTLET PIPE DIAMETER
IF BY SURFACE DRAINAGE PIPE 100mm LONG WRAPPED IN FIBRE SUECK TO BE PROVIDED ADJACENT TO INLET PIPE
COMPRESSION STRENGTH F, FOR CAST IN SITU CONCRETE TO BE A MINIMUM OF 20MPa AT 28 DAYS
ISOLATED JOINTS TO BE PROVIDED TO ISOLATE CONCRETE PAVEMENT FROM PITS
ALL TRENCH GRATES PROVIDED SHALL HAVE A MINIMUM CLEAR WIDTH OF 200mm
STORMWATER DRAINAGE CONNECTIONS TO THE MAIN SYSTEM SHALL BE TO THE REQUIREMENTS AND THE SATISFACTION OF LOCAL COUNCIL

DESIGN NOTES:
THE SITE IS LOCATED IN CUMBERLAND COUNCIL LGA.
SITE AREA: 544m²
AREA BYPASS: 500m²
ON-SITE DETENTION IS REQUIRED AS ADVISED BY COUNCIL. THE DSD STORAGE SYSTEM WILL BE ABOVE GROUND.
THE DSD IS SIZED USING CUMBERLAND CALCULATION SHEET. WWSQ IS NOT REQUIRED BY COUNCIL. DSD.



KERB INLET PIT NOTES:
1. KERB INLET PITS TO BE CONSTRUCTED TO CUMBERLAND COUNCIL STANDARDS
2. ALL KERB INLET PITS TO BE CAST IN-SITU
3. ALL CONCRETE SHALL BE 20MPa STRENGTH AT 28 DAYS WITH FEE FREE CONTRACT PLACES

AUTHORITY STORMWATER NOTES:
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK ALL SET OUT AND LEVELS PRIOR TO COMMENCEMENT OF WORKS AND TO REPORT ANY DISCREPANCIES FROM THE SURVEYOR/ENGINEER.
2. ALL SET OUT DIMENSIONS ARE TO FACE OF WORK, CENTERLINE OF FORCE/ROAD/PIPE.
3. SMOOTH ALL TRANSITIONS BETWEEN NEW AND EXISTING WORK IN BOTH LEVEL AND ALIGNMENT.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL SAFETY FORCES, WARNING SIGNS, TRAFFIC DEVIATORS AND THE LINE DURING CONSTRUCTION. ALL WORKS TO COMPLY WITH OCCUPATIONAL HEALTH AND SAFETY REQUIREMENTS AND OTHER RELEVANT AUTHORITY SAFETY REQUIREMENTS.
5. NO TREES SHALL BE REMOVED, CUTBACK OR RELICATED WITHOUT THE WRITTEN INSTRUCTION FROM THE SUPERINTENDENT.
6. THE CONTRACTOR SHALL PROVIDE CERTIFICATION OF COMPACTION AND PAYMENT THICKNESS FROM A NATA REGISTERED TESTING AUTHORITY. MINIMUM TESTS PER LAYER AS FOLLOWS
PIPE BACKFILL: 10% STANDARD, 90% MODIFIED
SUBJECT FILL: 10% STANDARD, 90% MODIFIED
RAID COURSE: 10% STANDARD, 90% MODIFIED
7. THE ACCEPT SPECIFICATION SHALL BE THE SPECIFICATION FOR THESE WORKS.

SERVICES SHOWN ON PLAN ARE INDICATIVE. EXACT DEPTH AND LOCATION TO BE CONFIRMED ON-SITE. CONTRACTOR TO CARRY OUT DIAL BEFORE YOU DIG APPLICATION AND ENGAGE A REGISTERED SURVEYOR TO PEG OUT ALL EXISTING SERVICES PRIOR TO ANY WORK COMMENCING ON-SITE.

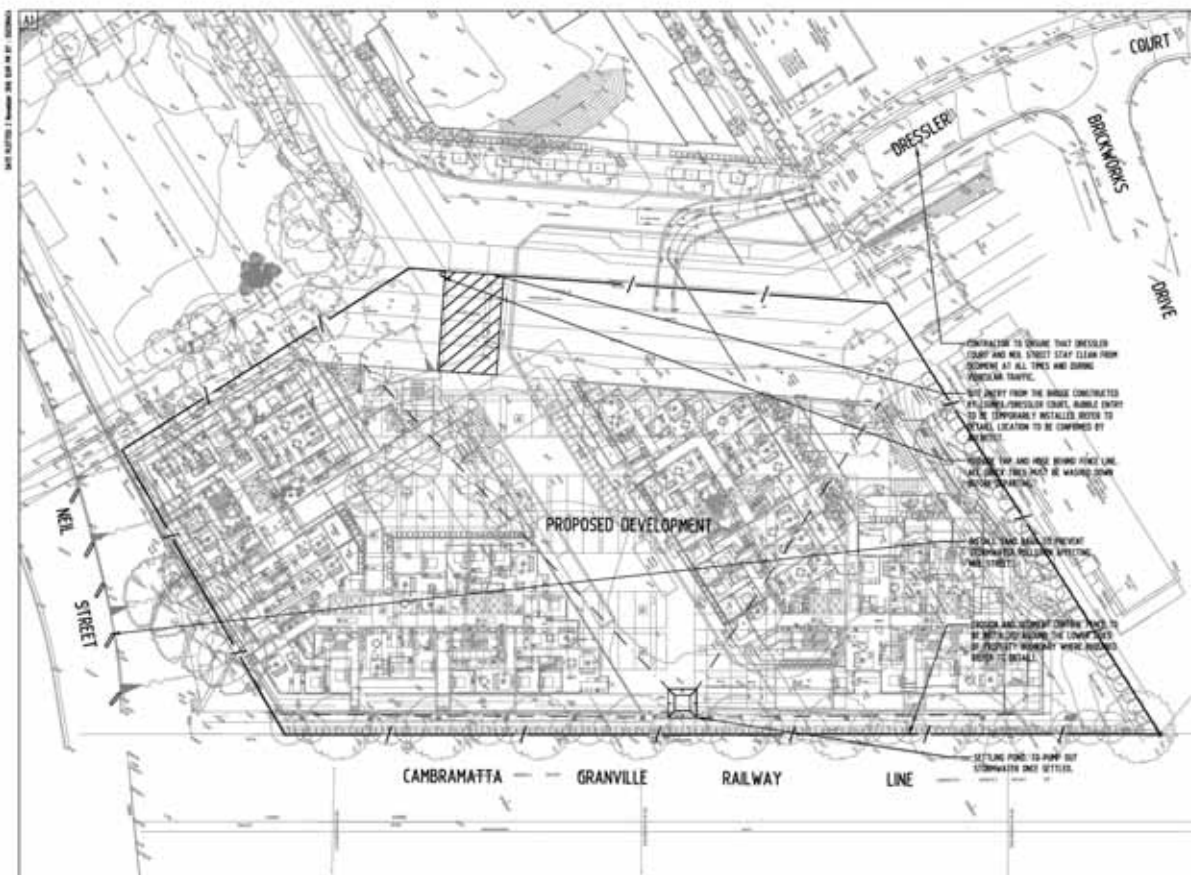
On-Site Detention Calculation Sheet				
Project:	20140028.00	Lot No.		
Location:	1-11 NEIL STREET, MERRYLANDS	DP No.		
Designer:	CZ	D.A. No.		
Phone:				
OSD Area:	544	HCC	HCC	
Site Area		0.678	0.678	
Basic Storage Volume		202.86	202.86	
Basic Discharge		94.67	94.67	
Area of Site to Storage		0.637	94%	0.637
Percentage of Site		94.20	94.20	
Storage per ha of contributing area		318.46	318.46	
Volume/PSD Adjustment		136.65	136.65	
PSD for site		87.02	87.02	
Maximum Head to Orifice Centre		1.550	1.550	
Calculated Orifice Diameter		0.180	0.180	
Maximum discharge		87.023	72.009	
Head for High early discharge		1.450	0.960	
High Early Discharge		84.169	87%	84.528
Mean Discharge		65.596	70.269	79%
Average Discharge per Hectare		134.373	110.312	
Final Site Storage Ratio		324	374	
Site Storage Volume		206.27	238.27	
Volume Provided		285.60	138%	295.600
120%				
Date Checked:	02-Nov-18			

Reference Coordination Drawing

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QUALITY CONTROL

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EROSION & SEDIMENTATION CONTROL NOTES

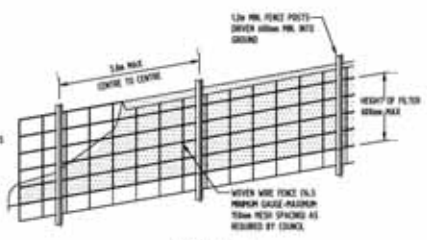
- CONTRACTOR SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE OF THE WORKS. THE SEDIMENT FENCING MATERIAL TO CYCLING WIRE SECURITY FENCE. SEDIMENT CONTROL FENCE SHALL BE AN APPROVED MATERIAL. SEE NOTES PRIOR TO DETAIL CONSTRUCTION. STORMWATER SHALL BE DISCHARGED TO THE LOW SIDE OF THE WORKS.
- EXISTING DRAINAGE LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
- NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
- GRAVEL ROADS SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
- CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DISCHARGEABLES & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE GO TO IN A FORWARD DIRECTION.

GENERAL NOTES

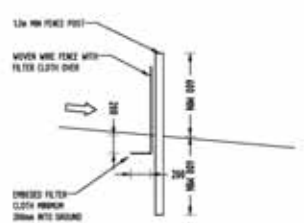
- THIS PLAN IS A CONCEPT PLAN ONLY FOR STORMWATER DISPOSAL & EROSION CONTROL. IF IT IS NOT SUITABLE FOR CONSTRUCTION, THIS PLAN SHOULD BE ADAPTED BY THE BUILDER DURING EXCAVATION & CONSTRUCTION PHASES TO ENSURE ADEQUATE PERFORMANCE.
- ALL DRAWING LAYOUT & DETAILS ARE DIAGRAMMATIC & INDICATIVE ONLY. ACTUAL LOCATION, SIZES, LEVELS & GRADES MAY ALTER WHEN DETAIL DESIGN WORKS ARE DEVELOPED.

CLAY SOILS

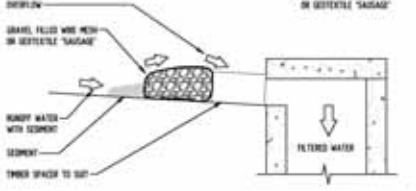
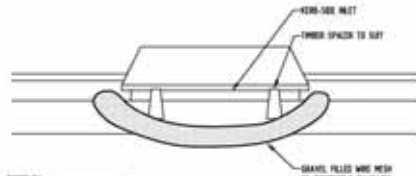
- A SYSTEM SHALL BE INSTALLED TO OTHER.
- TEMPORARY STORMWATER RUNOFF WITH SUSPENDED SOLIDS FROM SITE VIA PUMP TRUCKS.
- TREAT THE STORMWATER RUNOFF WITH SUSPENDED SOLIDS TO THE DISCHARGE WATER QUALITY TO COUNCIL. STORMWATER DRAINAGE SYSTEM SHALL A MAINTAIN CONCENTRATION OF SUSPENDED SOLIDS THAT DOES NOT EXCEED 100 MILLIGRAMS PER LITRE IN ACCORDANCE WITH THE PROTECTION OF THE ENVIRONMENT OPERATIONS ACT 1997 AND SHALL BE APPROVED BY LOCAL COUNCIL.



DIAGRAMMATIC VIEW



DETAIL 4
SEDIMENT FENCE
NOT TO SCALE



DETAIL 3
GRAVEL INLET FILTER (SAUSAGE)
NOT TO SCALE

CONSTRUCTION NOTES:

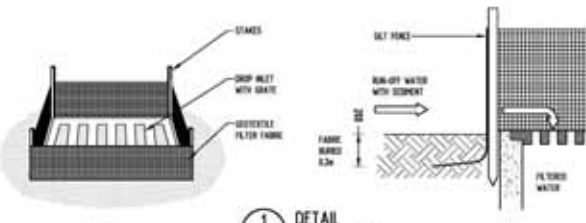
FABRICATE A SLEEVE PRIOR FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE MUFT YET FILL THE SLEEVE WITH 20mm TO 30mm GRAVEL.

FORM AN ELLIPTICAL CROSS-SECTION OF THE KEY-HOLE MUFT LEAVING A 20mm GAP AT THE TOP TO ACT AS AN EMERGENCY SPOILWART.

MAINTAIN THE OPENING WITH SPACER BLOCKS.

FORM A SEAL WITH THE KEYING AND PREVENT SEDIMENT BYPASSING THE FILTER.

FIT TO ALL KEY-HOLE MUFTS AT SAG POINTS.

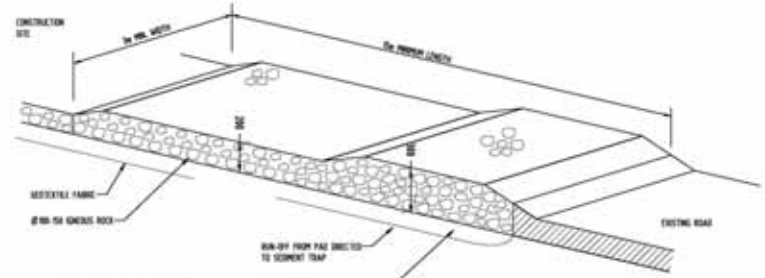
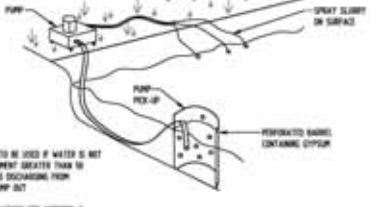


DETAIL 1
SEED SEDIMENT TRAP
NOT TO SCALE

NOTES:

- FLUTICATION TO BE USED IF WATER IS NOT CLEAR OR SEDIMENT DEPOSITED IN THE MUFT PRIOR TO DISCHARGING FROM TEMPORARY PUMP OUT.
- FOR RATES & HEIGHTS SEE APPENDIX 1 OF NEW SOUTH WALES DEPARTMENT OF WATERS 'MANAGING URBAN STORMWATER SOILS & CONSTRUCTION'.

DETAIL 2
FLUTICATION DETAIL
NOT TO SCALE



RUBBLE ALTERNATIVE

DETAIL 5
TEMPORARY CONSTRUCTION EXIT
NOT TO SCALE

Reference Coordination Drawing Drawing Title and Number Date Scale Author Checked Drawn Approved Issued Revisions 1. Revision 2. Revision 3. Revision 4. Revision 5. Revision 6. Revision 7. Revision 8. Revision 9. Revision 10. Revision 11. Revision 12. Revision 13. Revision 14. Revision 15. Revision 16. Revision 17. Revision 18. Revision 19. Revision 20. Revision 21. Revision 22. Revision 23. Revision 24. Revision 25. Revision 26. Revision 27. Revision 28. Revision 29. Revision 30. Revision 31. Revision 32. Revision 33. Revision 34. Revision 35. Revision 36. Revision 37. Revision 38. Revision 39. Revision 40. Revision 41. Revision 42. Revision 43. Revision 44. Revision 45. Revision 46. Revision 47. Revision 48. Revision 49. Revision 50. Revision 51. Revision 52. Revision 53. Revision 54. Revision 55. Revision 56. Revision 57. Revision 58. Revision 59. Revision 60. Revision 61. Revision 62. Revision 63. Revision 64. Revision 65. Revision 66. Revision 67. Revision 68. Revision 69. Revision 70. Revision 71. Revision 72. Revision 73. Revision 74. Revision 75. Revision 76. Revision 77. Revision 78. Revision 79. Revision 80. Revision 81. Revision 82. Revision 83. Revision 84. Revision 85. Revision 86. Revision 87. Revision 88. Revision 89. Revision 90. Revision 91. Revision 92. Revision 93. Revision 94. Revision 95. Revision 96. Revision 97. Revision 98. Revision 99. Revision 100. Revision 				QUALITY CONTROL Design Drawn Checked Approved Issued Revisions 1. Revision 2. Revision 3. Revision 4. Revision 5. Revision 6. Revision 7. Revision 8. Revision 9. Revision 10. Revision 11. Revision 12. Revision 13. Revision 14. Revision 15. Revision 16. Revision 17. Revision 18. Revision 19. Revision 20. Revision 21. Revision 22. Revision 23. Revision 24. Revision 25. Revision 26. Revision 27. Revision 28. Revision 29. Revision 30. Revision 31. Revision 32. Revision 33. Revision 34. Revision 35. Revision 36. Revision 37. Revision 38. Revision 39. Revision 40. Revision 41. Revision 42. Revision 43. Revision 44. Revision 45. Revision 46. Revision 47. Revision 48. Revision 49. Revision 50. Revision 51. Revision 52. Revision 53. Revision 54. Revision 55. Revision 56. Revision 57. Revision 58. Revision 59. Revision 60. Revision 61. Revision 62. Revision 63. Revision 64. Revision 65. Revision 66. Revision 67. Revision 68. Revision 69. Revision 70. Revision 71. Revision 72. Revision 73. Revision 74. Revision 75. Revision 76. Revision 77. Revision 78. Revision 79. Revision 80. Revision 81. Revision 82. Revision 83. Revision 84. Revision 85. Revision 86. Revision 87. Revision 88. Revision 89. Revision 90. Revision 91. Revision 92. Revision 93. Revision 94. Revision 95. Revision 96. Revision 97. Revision 98. Revision 99. Revision 100. Revision 				CLIENT LANDMARK GROUP 14-16 LEXINGTON DRIVE BELLA VISTA, NSW 2153 T: +61 2 8883 4239 F: +61 2 9672 6977 Email: office@lmgp.com.au Web: www.lmgp.com.au A.B.N. 21 518 022 100				ARCHITECT marchese partners 14-16 LEXINGTON DRIVE BELLA VISTA, NSW 2153 T: +61 2 8883 4239 F: +61 2 9672 6977 Email: office@lmgp.com.au Web: www.lmgp.com.au A.B.N. 21 518 022 100				PROJECT BUILDING 3 & 4 NEIL ST RESIDENTIAL PRECINCT 1-11 NEIL STREET, MURRYLANDS NSW LOT 1 DP 209553 & LOT 11 DP 228782 A.B.N. 21 518 022 100				FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES EROSION AND SEDIMENT CONTROL PLAN AND DETAILS Project No: 20140028 Drawing No: SW507 Revision No: A			
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